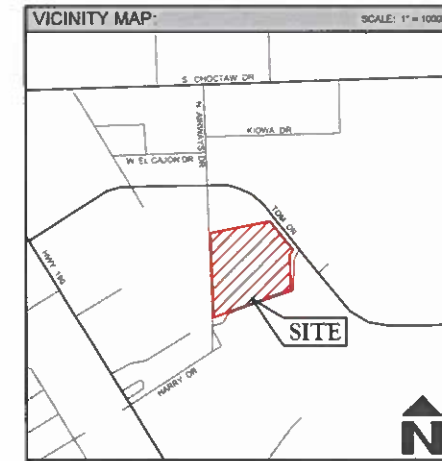


# 61 NORTH LOGISTICS CENTER

8800 TOM DRIVE, BATON ROUGE, LA 70815

## PLANNING COMMISSION SUBMITTAL



**powers brown architecture**  
 2100 Travis Street, Suite 501  
 Houston, Texas 77002  
 713.224.0456  
 713.224.0457 fax  
 www.powersbrown.com

**PROJECT TITLE**  
 61 NORTH LOGISTICS CENTER  
 8800 Tom Drive  
 Baton Rouge, LA 70815

A PROJECT FOR  
**RATCLIFF DEVELOPMENT, LLC**

**GENERAL NOTES**

SHEET NO.:	DESCRIPTION:
1	TITLE SHEET
2	EXISTING CONDITIONS PLAN
3	SITE PLAN
4	SITE DETAILS
5	CIRCULATION PLAN
5.1	TURNING MOVEMENT PLAN
6	LANDSCAPE PLANTING PLAN
7	BUILDING ELEVATIONS

**DESIGN PROFESSIONALS**

**CIVIL ENGINEERING**  
 QUALITY ENGINEERING AND SURVEYING, LLC  
 MICHAEL PETTY, P.E.  
 18320 HIGHWAY 42  
 PORT VINCENT, LA 70726  
 PH: (225) 698-1600  
 FAX: (225) 698-3367  
 EMAIL: MPETTY@QESLA.COM

**ARCHITECT**  
 POWERS BROWN ARCHITECTURE  
 2100 TRAVIS STREET, STE 501  
 HOUSTON, TX 77002  
 PH: (713) 224-0456

**LANDSCAPE ARCHITECT**  
 MCKNIGHT LANDSCAPE ARCHITECTS  
 668 S FOSTER DR, STE 101  
 BATON ROUGE, LA 70806

**PROPERTY OWNER**  
 FLOR-LINE ASSOCIATES, LLC  
 600 MADISON AVE., 14TH FLOOR  
 NEW YORK, NY 70022

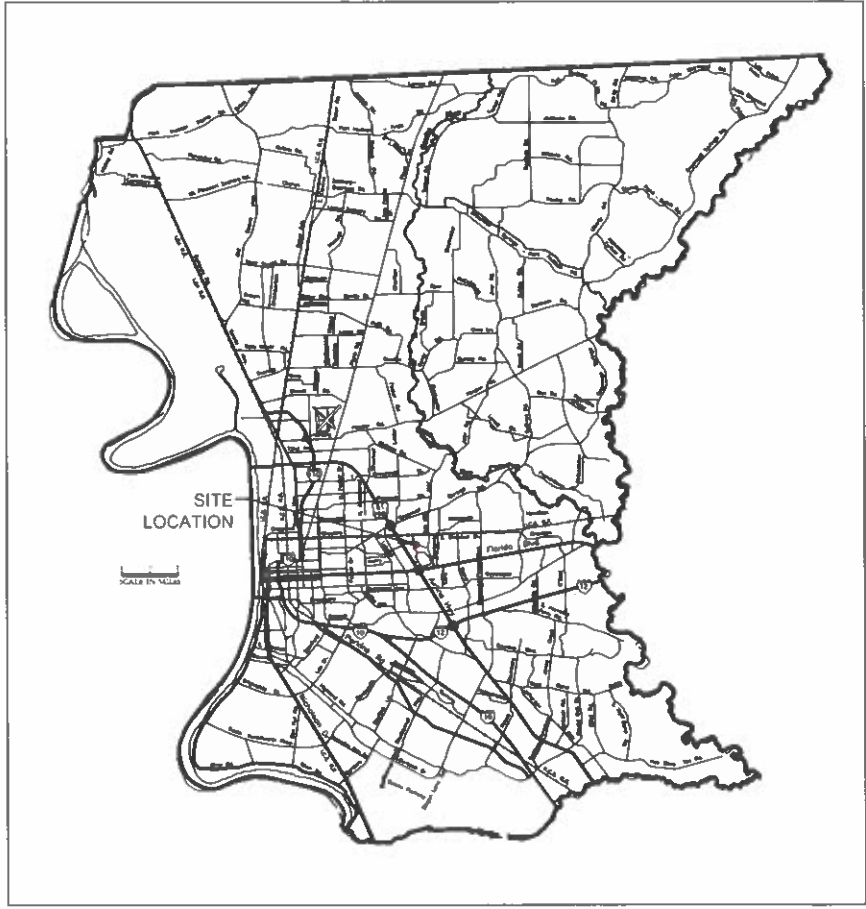
**DEVELOPER**  
 RATCLIFF DEVELOPMENT, LLC  
 3902 LEE ST.  
 ALEXANDRIA, LA 71302

**LEGAL DESCRIPTION**  
 TRACT Z-1-B  
 SUBDIVISION CORTANA PLANTATION  
 TOWNSHIP RANGE, SECTION 17S R1E SECT. 69

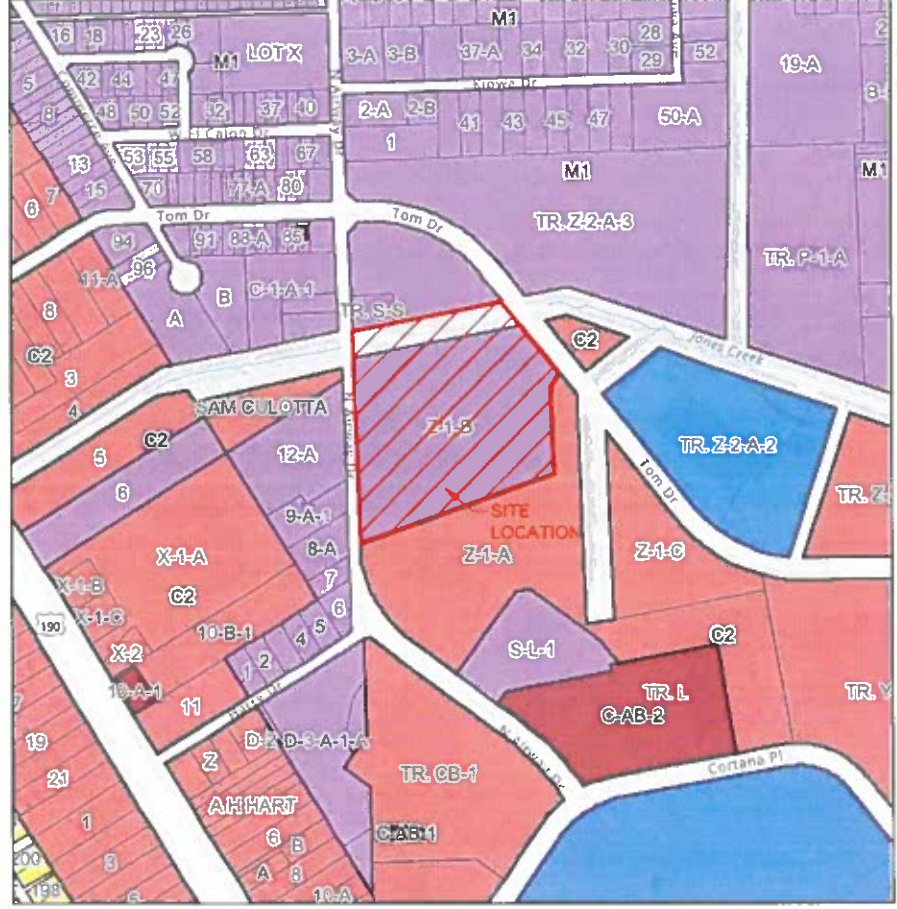
**CPPC PARCEL ID NUMBER**  
 LOT ID # 1110300128

**GENERAL NOTES**

EXISTING ZONING	M1
ADJACENT ZONING	C2 AND M1
ACREAGE	18.54 ACRES
CHARACTER AREA	SUBURBAN
EXISTING LAND USE	VACANT
PROPOSED USE:	WAREHOUSE
MAX. BUILDING HEIGHT	42'-0"
FUTURE LAND USE	EC (EMPLOYMENT CENTER)
FLOOD ZONE	"X" AND "AE"
BASE FLOOD ELEVATION	50'
NO. OF PROPOSED BUILDINGS	1
PROPOSED BUILDING AREA	240,000 SF
NO. OF LOTS	1
MINIMUM SETBACKS	AS INDICATED ON DRAWING
STREETS	TOM DR - 64' WIDE ASPHALT N AIRWAYS DR - 27' WIDE ASPHALT
SIDEWALKS	4" THICK - 5' WIDE CONCRETE
SEWER	WSTN
FIRE DISTRICT	BATON ROUGE
WASTE MANAGEMENT	CURBSIDE PICKUP
ELECTRIC COMPANY	ENTERGY
GAS COMPANY	ENTERGY
TELEPHONE	AT&T
CABLE TV	COX CABLE
WATER COMPANY	BATON ROUGE WATER COMPANY
SCHOOL DISTRICTS	ELEMENTARY: BROADMOOR ELEMENTARY MIDDLE: PARK FOREST MIDDLE HIGH: BROADMOOR SENIOR HIGH



EAST BATON ROUGE PARISH MAP



LOT AND BLOCK MAP

**PROJECT OWNER**  
**RATCLIFF DEVELOPMENT**  
 ALEXANDRIA, LA

**PROJECT INFORMATION**

CITY OF BATON ROUGE / EAST BATON ROUGE  
 PARISH PROJECT NUMBERS:  
 - SP-10-23  
 - 54481-SP  
 - 12870835

**QUALITY**  
 Engineering & Surveying LLC

18228 Hwy 40 Port Vincent LA 70768  
 225-698-1800 www.qualityeng.com info@qualityeng.com

Project No: 23-228 Date: OCTOBER 2023 Drawn By: MMG

DWG No: P-100-10-23-10 - by the Council 10-10-2023 - by the Council 10-10-2023 - by the Council 10-10-2023

Δ	DATE	REVISION

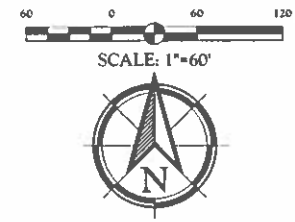
PROJECT NO: 231380  
 DRAWN BY: MMG  
 CHECKED BY: MP  
 SHEET NAME

TITLE SHEET

SEAL SHEET NUMBER

**1**

PC SET 10/23/2023



**LEGEND**

- FOUND 5/8" IRON ROD (UNLESS OTHERWISE NOTED)
- SET 1/2" IRON ROD
- SET PK NAIL
- △ CALCULATED CORNER
- ⊕ WATER VALVE
- ⊗ WATER METER
- ⊕ FIRE HYDRANT
- ⊖ SEWER MANHOLE
- ▲ SIGN
- UTILITY POLE
- LIGHT POLE
- DRAIN MANHOLE
- CURB INLET
- OAK TREE (UNLESS OTHERWISE NOTED)

**SURVEY NOTES**

REFERENCE PLAT:  
RESUBDIVISION PLAT FOR LOTS Z-1-A, Z-1-B & Z-1-C BY TAYLOR M. GRAVINS, PLS DATED 05-31-2017, FILED 07-10-2017.

BASES OF BEARING:  
LA STATE PLANE COORDINATE SYSTEM, GRID NORTH, NAD 83, SOUTH ZONE.

BASES OF ELEVATION:  
NAVD 88, GCOED 12A. ELEVATIONS WERE DERIVED USING GUNNET REAL TIME NETWORK (RTN) IN CONJUNCTION WITH A CONTINUOUSLY OPERATING REFERENCE STATION (CORS).

**FLOOD NOTE:**  
PROPERTY LIES IN FLOOD ZONE "A" & FLOOD ZONE "X" PER THE FEMA FLOOD INSURANCE RATE MAPS FOR EAST BATON ROUGE PARISH, COMMUNITY PANEL NO. 2303300250F DATED JUNE 19, 2012.  
FLOOD ZONE DETERMINED BY SCALING FROM FEMA MAP.

**GENERAL NOTES:**  
NO ATTEMPT HAS BEEN MADE BY MONCEAU BULLER & ASSOCIATES, L.L.C. TO VERIFY TITLE, ACTUAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS-OF-WAY OR OTHER BURDENS ON THE PROPERTY OTHER THAN THAT FURNISHED BY THE CLIENT OR HIS REPRESENTATIVE OR OBSERVED IN CONNECTION WITH THE FIELD WORK.

NO INFORMATION AVAILABLE ON PROPOSED CHANGES IN RIGHT OF WAY LINES.  
A WETLAND DELINEATION REPORT WAS NOT PROVIDED. NO EVIDENCE OF WETLAND MARKERS.  
NO OFFSITE SERVITUDE DOCUMENTS PROVIDED.  
NO OBSERVED EVIDENCE OF WASTE DUMP OR LANDFILL.  
NO OBSERVED EVIDENCE OF BURIAL GROUNDS OR CEMETERIES.

**UTILITY NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES AND STRUCTURES AND SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY FAILURE TO COMPLY WITH THESE INSTRUCTIONS.

**Louisiana 811**  
LAONECALL.COM

BY LAW ANYONE PLANNING MECHANIZED DIGGING OR EXCAVATION WORK IN LOUISIANA MUST NOTIFY LOUISIANA ONE CALL BY CALLING 811 OR 1-800-272-3020 OR BY GOING TO THEIR WEBSITE AT WWW.LOUISIANA811.COM AT LEAST TWO FULL BUSINESS DAYS PRIOR TO THE PROJECTS START DATE.

**QUALITY**  
Engineering & Surveying, LLC

18158 Hwy 42, Port Vincent, LA 70378  
225-686-1668 | www.qualityeng.com | info@qualityeng.com

Project No: 23-228 Date: OCTOBER 2023 Drawn By: MMG

**powers brown architecture**

2100 Travis Street, Suite 501  
Houston, Texas 77002  
713.224.0456  
713.224.0457 fax  
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**PROJECT TITLE**

**61 NORTH LOGISTICS CENTER**  
8800 Tom Drive  
Baton Rouge, LA 70815

A PROJECT FOR  
**RATCLIFF DEVELOPMENT, LLC**

**GENERAL NOTES**

Δ	DATE	REVISION

PROJECT NO: 23-228  
DRAWN BY: MMG  
CHECKED BY: MP  
SHEET NAME

**EXISTING CONDITIONS PLAN**

SEAL SHEET NUMBER

**2**

10-6-2023

**powers brown architecture**  
 2100 Travis Street, Suite 501  
 Houston, Texas 77002  
 713.224.0456  
 713.224.0457 fax  
 www.powersbrown.com

**PROJECT TITLE**  
**61 NORTH LOGISTICS CENTER**  
 8800 Tom Drive  
 Baton Rouge, LA 70815

A PROJECT FOR  
**RATCLIFF DEVELOPMENT, LLC**

**GENERAL NOTES**

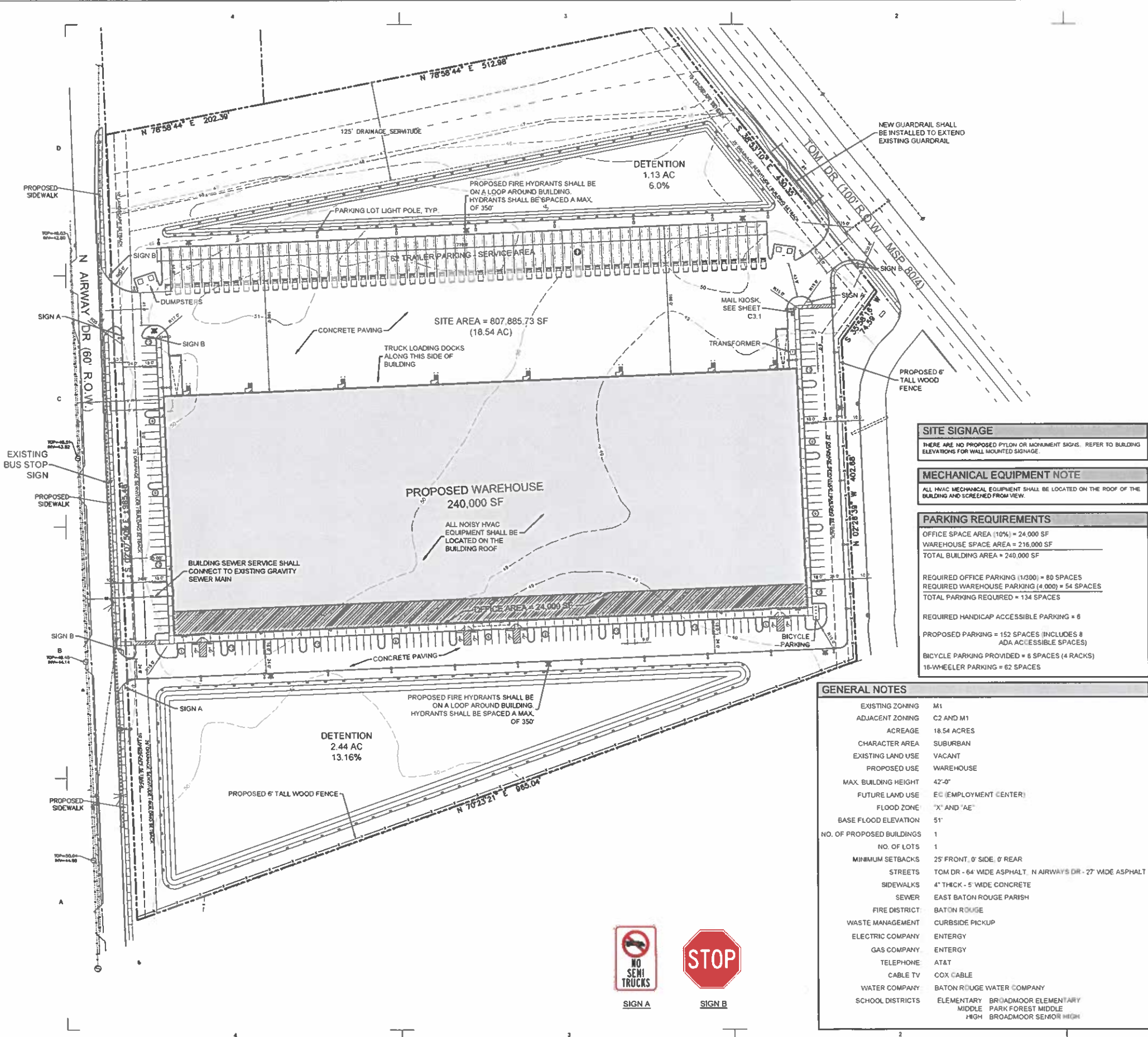
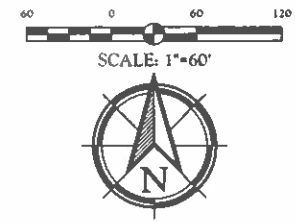
- 1) ALL PAVEMENT STRIPING SHALL BE 4-INCH-WIDE WHITE UNLESS OTHERWISE NOTED.
- 2) PAINT SHALL BE APPLIED TO PAVEMENT BY SPRAYING WITH A MECHANICAL SPRAYER DEVELOPED FOR SUCH PURPOSES TO ASSURE UNIFORM STRAIGHT LINES.
- 3) ALL DIMENSIONS FOR PAVEMENT SHOWN HEREIN UNLESS OTHERWISE NOTED, ARE TAKEN AT THE FACE OF CURB.
- 4) ALL SIDEWALKS SHOWN SHALL BE 4" THICK CONCRETE.
- 5) SIDEWALK CONTROL JOINTS TO BE SAW CUT (NOT TROWELED) ON A 30" BY 30" PATTERN EXPANSION JOINTS AT 20 FEET O.C. OR PER LOCAL CODE REQUIREMENTS.
- 6) ALL CURBS SHALL TRANSITION FROM 8" TO 6" AT ALL GRADE SIDEWALK CROSSINGS AND CONNECTIONS TO NON-CURBED AREAS.

Δ	DATE	REVISION

PROJECT NO: 221360  
 DRAWN BY: MMG  
 CHECKED BY: MP  
 SHEET NAME

**SITE PLAN**

SEAL SHEET NUMBER  
**3**



**GEOMETRIC NOTES:**

- 1) ALL PAVEMENT STRIPING SHALL BE 4-INCH-WIDE WHITE UNLESS OTHERWISE NOTED.
- 2) PAINT SHALL BE APPLIED TO PAVEMENT BY SPRAYING WITH A MECHANICAL SPRAYER DEVELOPED FOR SUCH PURPOSES TO ASSURE UNIFORM STRAIGHT LINES.
- 3) ALL DIMENSIONS FOR PAVEMENT SHOWN HEREIN UNLESS OTHERWISE NOTED, ARE TAKEN AT THE FACE OF CURB.
- 4) ALL SIDEWALKS SHOWN SHALL BE 4" THICK CONCRETE.
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- 6) ALL CURBS SHALL TRANSITION FROM 8" TO 6" AT ALL GRADE SIDEWALK CROSSINGS AND CONNECTIONS TO NON-CURBED AREAS.

**SITE AREA DATA**

BUILDING AREA	240,000 SQ. FT.
AREA OF CONCRETE PAVING	235,342 SQ. FT.
GREEN OR LANDSCAPED AREA	332,543 SQ. FT. (41.1% GREEN SPACE)
TOTAL SITE AREA	807,885.73 SQ. FT. OR (18.54 ACRES)

**SITE ZONING DISTRICT**  
 SITE ZONING = M1 (LIGHT INDUSTRIAL)

**LEGEND:**

	EXIST. SANITARY SEWER SERVICE LINE
	EXIST. OVERHEAD ELECTRIC LINE
	EXIST. WATER LINE
	EXIST. GAS LINE
	EXIST. GRATE INLET
	EXIST. DROP INLET
	EXIST. JUNCTION BOX
	EXIST. SANITARY SEWER MANHOLE
	EXIST. SANITARY SEWER CLEAN OUT
	EXIST. POWER POLE
	EXIST. UTILITY POLE
	EXIST. LIGHT POLE
	EXIST. FIRE HYDRANT
	EXIST. WATER METER
	EXIST. WATER VALVE
	EXIST. TREE (SIZE/TYPE VARIES)
	PROPOSED 6' FENCE
	PARKING LOT LIGHT POLE AND FIXTURE

**UTILITY NOTE:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES AND STRUCTURES AND SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY FAILURE TO COMPLY WITH THESE INSTRUCTIONS.

**Louisiana 811**  
 LAONECALL.COM

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**QUALITY**  
 Engineering & Surveying LLC

18188 Hwy 42, Port Vincent, LA 70778  
 225-682-1400 | www.qualityes.com | info@qualityes.com

Project No: 23-228 Date: OCTOBER 2023 Drawn By: MMG  
 10-6-2023

**SITE SIGNAGE**  
 THERE ARE NO PROPOSED PYLON OR MONUMENT SIGNS. REFER TO BUILDING ELEVATIONS FOR WALL MOUNTED SIGNAGE.

**MECHANICAL EQUIPMENT NOTE**  
 ALL HVAC MECHANICAL EQUIPMENT SHALL BE LOCATED ON THE ROOF OF THE BUILDING AND SCREENED FROM VIEW.

**PARKING REQUIREMENTS**  
 OFFICE SPACE AREA (10%) = 24,000 SF  
 WAREHOUSE SPACE AREA = 216,000 SF  
 TOTAL BUILDING AREA = 240,000 SF

REQUIRED OFFICE PARKING (1/1000) = 80 SPACES  
 REQUIRED WAREHOUSE PARKING (4,000) = 54 SPACES  
 TOTAL PARKING REQUIRED = 134 SPACES

REQUIRED HANDICAP ACCESSIBLE PARKING = 6  
 PROPOSED PARKING = 152 SPACES (INCLUDES 8 ADA ACCESSIBLE SPACES)  
 BICYCLE PARKING PROVIDED = 6 SPACES (4 RACKS)  
 18-WHEELER PARKING = 62 SPACES

**GENERAL NOTES**

EXISTING ZONING	M1
ADJACENT ZONING	C2 AND M1
ACREAGE	18.54 ACRES
CHARACTER AREA	SUBURBAN
EXISTING LAND USE	VACANT
PROPOSED USE	WAREHOUSE
MAX. BUILDING HEIGHT	42'-0"
FUTURE LAND USE	EE (EMPLOYMENT CENTER)
FLOOD ZONE	"X" AND "AE"
BASE FLOOD ELEVATION	51'
NO. OF PROPOSED BUILDINGS	1
NO. OF LOTS	1
MINIMUM SETBACKS	25' FRONT, 0' SIDE, 0' REAR
STREETS	TOM DR - 64' WIDE ASPHALT, N AIRWAYS DR - 27' WIDE ASPHALT
SIDEWALKS	4" THICK - 5' WIDE CONCRETE
SEWER	EAST BATON ROUGE PARISH
FIRE DISTRICT	BATON ROUGE
WASTE MANAGEMENT	CURBSIDE PICKUP
ELECTRIC COMPANY	ENTERGY
GAS COMPANY	ENTERGY
TELEPHONE	AT&T
CABLE TV	COX CABLE
WATER COMPANY	BATON ROUGE WATER COMPANY
SCHOOL DISTRICTS	ELEMENTARY: BROADMOOR ELEMENTARY MIDDLE: PARK FOREST MIDDLE HIGH: BROADMOOR SENIOR HIGH



**PROJECT TITLE**  
**61 NORTH LOGISTICS CENTER**  
 8800 Tern Drive  
 Baton Rouge, LA 70815

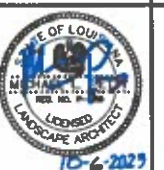
A PROJECT FOR  
**RATCLIFF DEVELOPMENT, LLC**

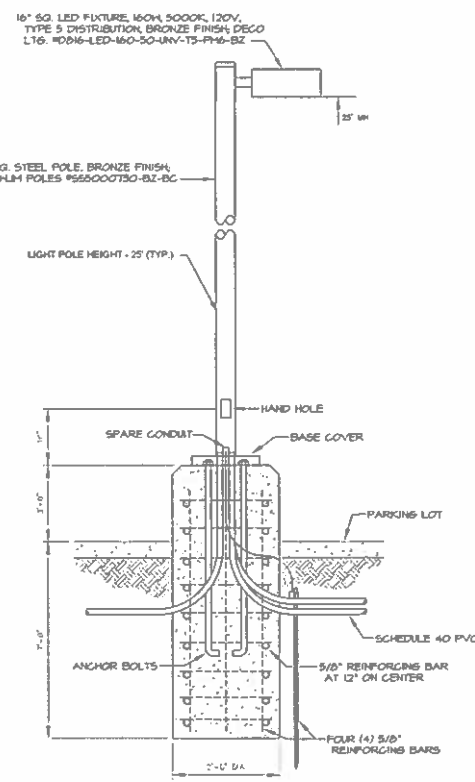
**GENERAL NOTES**

Δ	DATE	REVISION

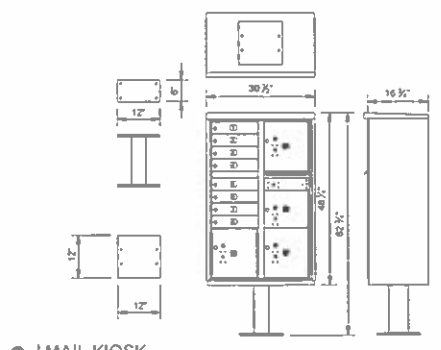
PROJECT NO: 221380  
 DRAWN BY: MMG  
 CHECKED BY: MP  
 SHEET NAME

**SITE DETAILS**

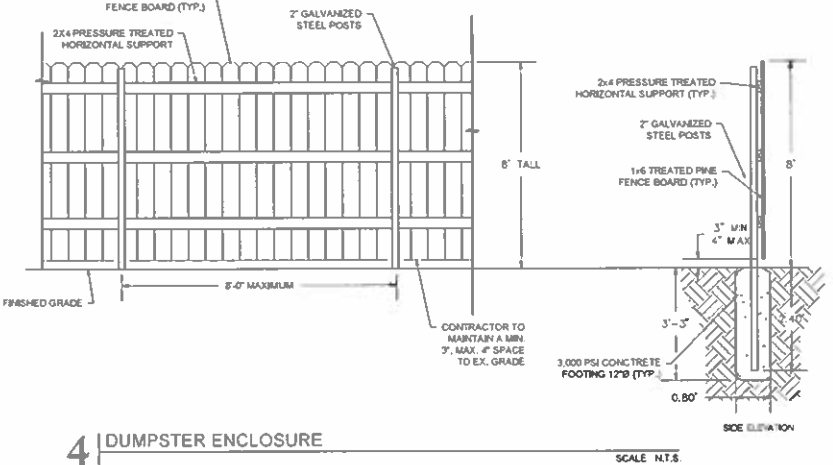
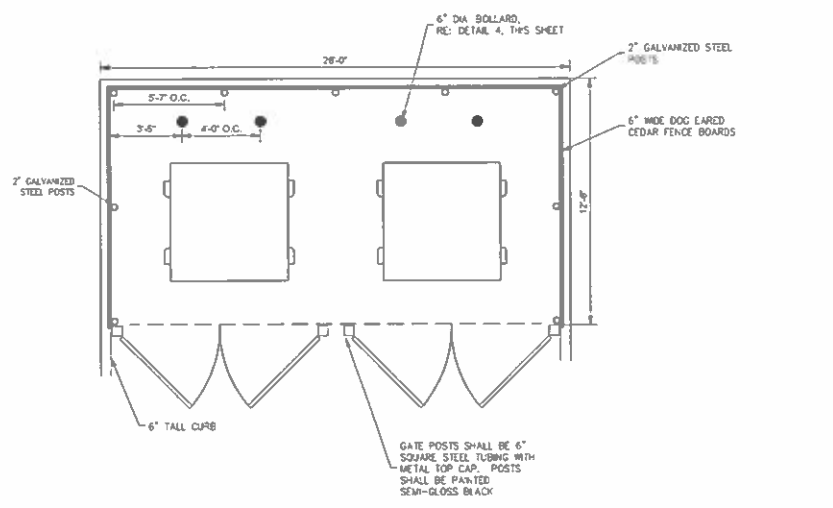
SEAL	SHEET NUMBER
	<b>4</b>



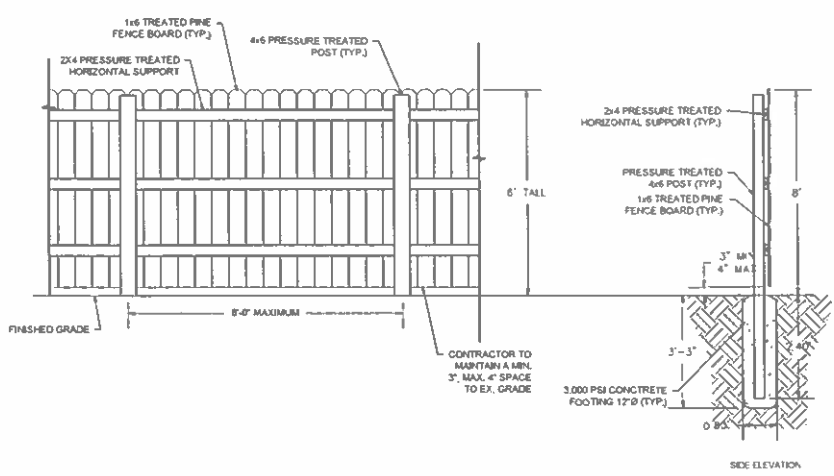
**1 | SITE POLE LIGHT DETAIL**  
 FOUNDATION DETAIL AND PRODUCT INFORMATION SCALE: N.T.S.



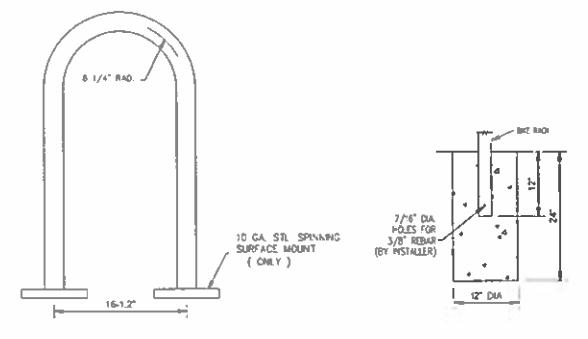
**3 | MAIL KIOSK**  
 SCALE: N.T.S.



**4 | DUMPSTER ENCLOSURE**  
 SCALE: N.T.S.

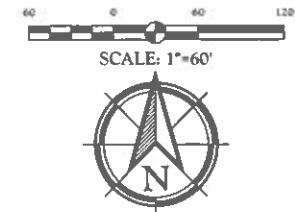
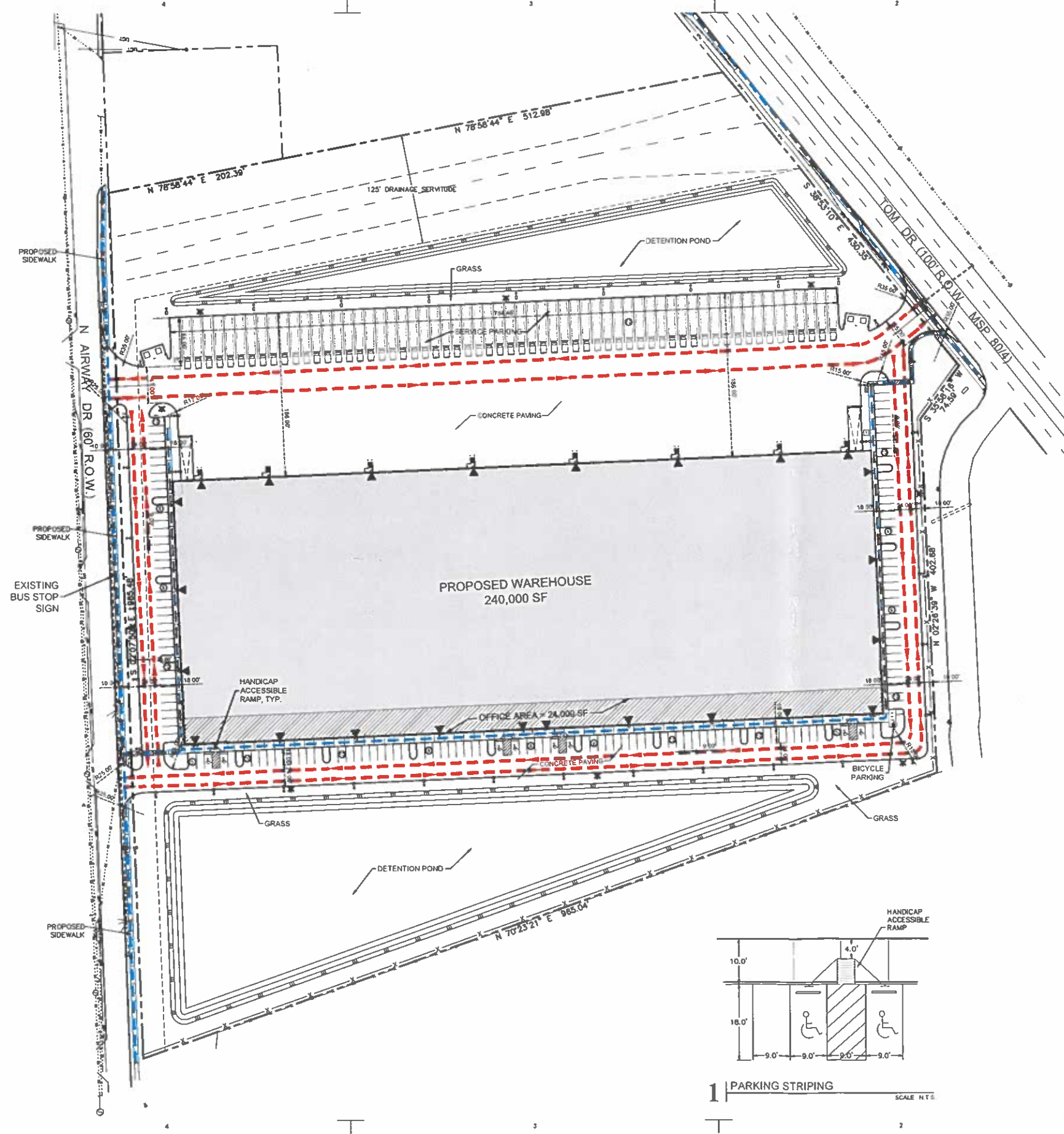


**2 | 6" WOOD FENCE AT LANDSCAPE BUFFER**  
 SCALE: 1/2" = 1'



**5 | BIKE RACK**  
 SCALE: N.T.S.

  
 12225 Hwy 42, Port Vincent LA 70778  
 225-699-1890 www.qualityes.com info@qualityes.com  
 Project No: 23-228 Date: OCTOBER 2023 Drawn By: MMG



powers  
brown  
archi  
ecture

2100 Travis Street  
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Houston, Texas 77002  
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**PROJECT TITLE**

**61 NORTH LOGISTICS CENTER**  
8800 Tom Drive  
Baton Rouge, LA 70815

A PROJECT FOR

**RATCLIFF DEVELOPMENT, LLC**

GENERAL NOTES

**PARKING REQUIREMENTS**

CHARACTER AREA = SUBURBAN

OFFICE SPACE AREA (10%) = 24,000 SF  
WAREHOUSE SPACE AREA = 216,000 SF  
TOTAL BUILDING AREA = 240,000 SF

REQUIRED OFFICE PARKING (1/300) = 80 SPACES  
REQUIRED WAREHOUSE PARKING (4,000) = 54 SPACES  
TOTAL PARKING REQUIRED = 134 SPACES

REQUIRED HANDICAP ACCESSIBLE PARKING = 6

PROPOSED PARKING = 152 SPACES (INCLUDES 8 ADA ACCESSIBLE SPACES)

BICYCLE PARKING PROVIDED = 8 SPACES (4 RACKS)  
18-WHEELER / SERVICE AREA PARKING = 62 SPACES

**LEGEND**

<span style="color: red;">---</span>	VEHICULAR CIRCULATION
<span style="color: blue;">---</span>	HANDICAP ACCESSIBLE PEDESTRIAN CIRCULATION
	INGRESS / EGRESS DOOR LOCATIONS
	EXISTING SIDEWALK
	PROPOSED SIDEWALK

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**QUALITY**  
Engineering & Surveying, LLC

18229 Hwy 42, Port Vincent, LA 70758  
225-468-1499 | www.quality-engineering.com | info@quality-engineering.com

Date: **OCTOBER 2023** Drawn By: **MMG**

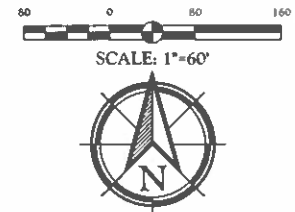
DATE	REVISION

PROJECT NO: 221360  
DRAWN BY: MMG  
CHECKED BY: MMG  
SHEET NAME

**CIRCULATION PLAN**

SEAL SHEET NUMBER

**5**



powers  
brown  
archi  
ecture

2100 Travis Street,  
Suite 501  
Houston, Texas 77002  
713.224.0456  
713.224.0457 fax  
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PROJECT TITLE

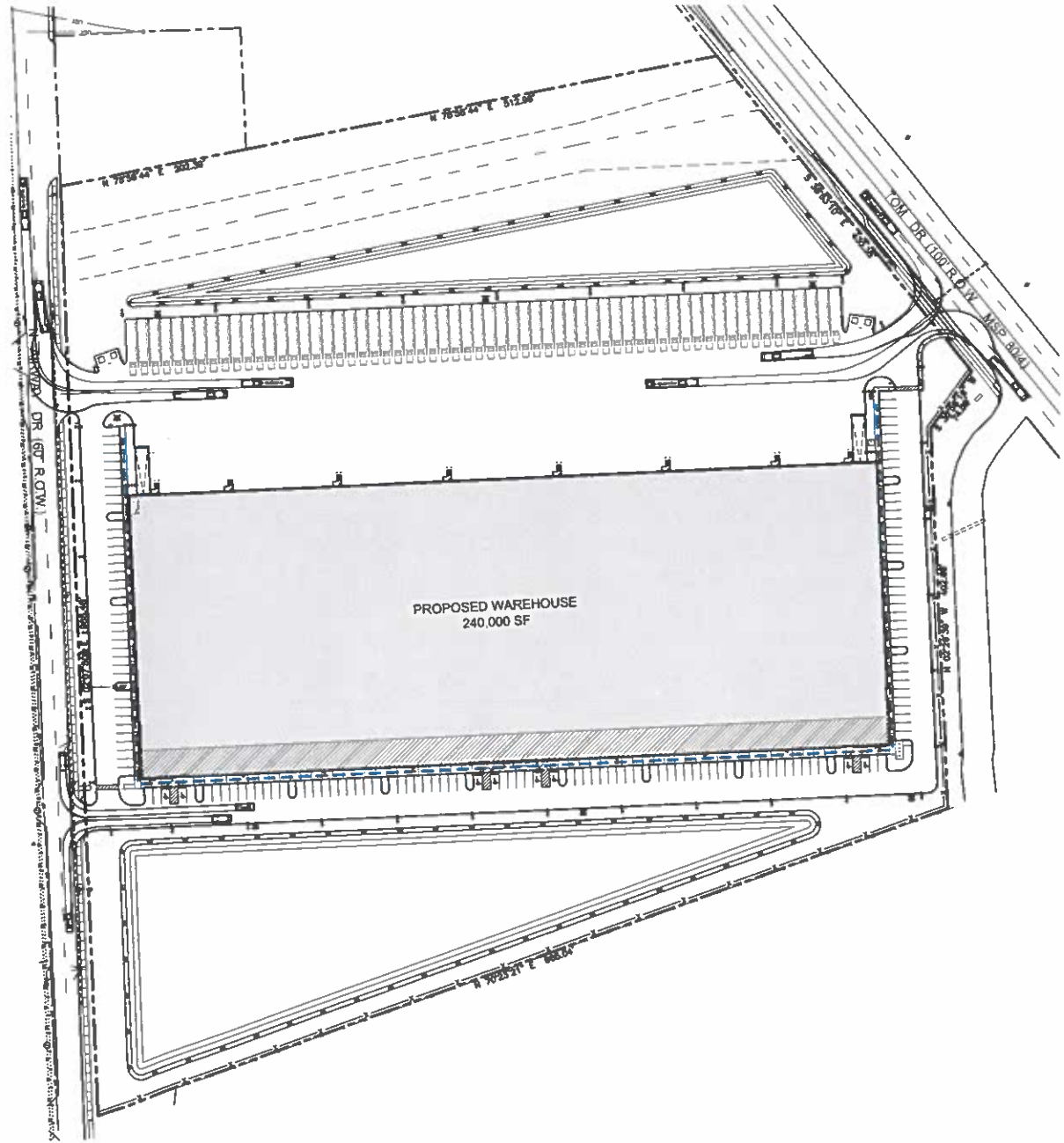
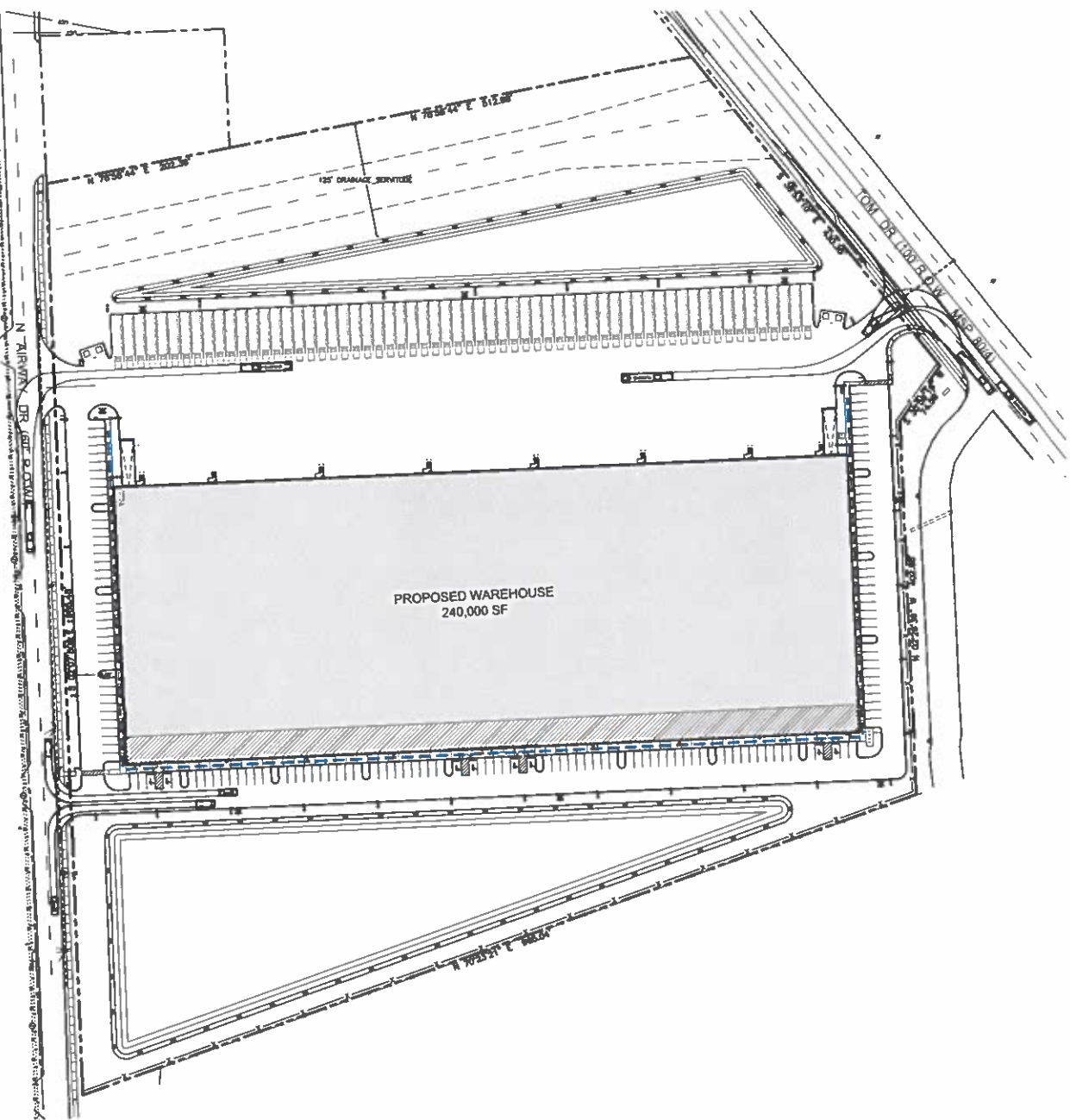
**61 NORTH LOGISTICS CENTER**

8800 Tom Drive  
Baton Rouge, LA 70815

A PROJECT FOR

**RATCLIFF DEVELOPMENT, LLC**

GENERAL NOTES



Δ	DATE	REVISION

PROJECT NO: 221390  
DRAWN BY: MMG  
CHECKED BY: ANP

SHEET NAME

**TURNING MOVEMENT PLAN**

**QUALITY**  
Engineering & Surveying LLC

19329 Hwy 43, Port Vincent, LA 70778  
225.686.1488 www.qualityes.com info@qualityes.com

Project No: 221390 Date: OCTOBER 2023 Drawn By: MMG

ENR 10-1-2023 10-1-2023 10-1-2023 10-1-2023 10-1-2023 10-1-2023 10-1-2023 10-1-2023 10-1-2023 10-1-2023

SEAL

SHEET NUMBER

**C5.1**

**LANDSCAPE ORDINANCE CALCULATIONS**

BATON ROUGE UNIFIED DEVELOPMENT CODE - CHAPTER 18  
 LOT 2-1-A, LAND USE - LIGHT INDUSTRIAL  
 CHARACTER AREA - SUBURBAN  
**LANDSCAPE AREA**  
 10% OF THE DEVELOPED SITE AREA SHALL BE LANDSCAPE AREA.  
 DEVELOPED SITE AREA = 18.5 ACRES x 10%  
 REQUIRED 80,788 SF LANDSCAPE AREA  
 PROVIDED 80,788 SF LANDSCAPE AREA

**BUFFER YARD SCREEN (as required)**  
 REQUIRED BUFFERS  
 SOUTH PROPERTY LINE ADJACENT TO HEAVY COMMERCIAL  
 LAND USE.  
 20 FT @ L3 PER UDC TABLE 18.B.6 WOODEN FENCE  
**STREET YARD**  
 A. CONTINUOUS 3H SCREEN REQUIRED BETWEEN SIDEWALK AND  
 PARKING  
 B. (1) CLASS A TREE PER 40 LINEAR FEET OR EQUIVALENT  
 C. 10' LANDSCAPE STRIP REQUIRED ALONG ENTIRE STREET  
 FRONTAGE  
 D. WHERE OVERHEAD UTILITIES EXIST, CLASS B OR C TREES SHALL  
 REPLACE CLASS A TREES AT THE RATE OF 1 FOR EVERY 40 FT.

**N AIRWAY**  
 985 LINEAR FEET @ 1 CLASS A TREE PER 40 LF OR EQUIVALENT =  
 REQUIRED 25 CLASS A TREES  
 PROVIDED 25 CLASS A TREES  
**TOM DRIVE**  
 430 LINEAR FEET @ 1 CLASS A TREE PER 40 LF OR EQUIVALENT =  
 REQUIRED 11 CLASS A TREES  
 PROVIDED 11 CLASS A TREES

**PARKING LOT**  
 A. NO PARKING SPACE SHALL BE FURTHER THAN 100 FEET FROM  
 CLASS A OR B TREE

**LANDSCAPE MATERIALS AND PLANTS LIST**

QUANTITY	PLANT / MATERIAL NAME AND DESCRIPTION
AS NEEDED	Bed Preparation (square feet) 6" planting soil over 8" loosened topsoil. Max top 4" of topsoil with first 3" of imported planting soil.
AS NEEDED	Hardwood Mulch, shredded (square feet) 3" thick layer on all planting areas and 2x roof ball diameter ring around all trees.
200B	Sod - Bermuda, Tifway 419 (square yards) certified weed and pest free
7,898±	Hydroseed - Common Bermuda Seed (square yards) Applied at a rate of 3.5 lbs (dry weight) / 1000 square feet Install in areas labeled on plan and any areas disturbed by construction
600±	Metal Edging (linear feet) 1/2" x 4" aluminum edging color black; install between planting and gravel border
17	Nuttall Oak (Quercus nuttallii) *CLASS A 45 gallon container, 10'-12" height, 4'-5" spread, 2 1/2"-3" caliper, straight trunk, single leader, heavily branched, heavy canopy
16	Red Maple Florida Flame (Acer rubrum Florida Flame) *CLASS A 45 gallon container, 10'-12" height, 4'-5" spread, 2"-2 1/2" caliper, heavily branched, single leader, full canopy
7	Alleé Elm (Ulmus parviflora Tineo II) *CLASS A 45 gallon container, 10'-11" height, 5'-6" spread, 2"-2 1/2" caliper, heavily branched, single leader
10	Pond Cypress (Taxodium ascendens) *CLASS A 30 gallon container, 10'-12" height, 4'-5" spread, 2 1/2"-3" caliper, heavily branched, full canopy, single leader
245	Japanese Yew (Podocarpus macrophyllum) 15 gallon container, 4'-5" height, 2'-3" spread, dense and compact growth habit, strong central leader
201	Pink Muhly Grass (Muhlenbergia capillaris) 3 gallon container, 12" - 18" height, 12" - 18" spread at base, full canopy, heavy and active foliage
2,367	Cherokee Sedge (Carex cherokeensis) 1 gallon, healthy growth habit, 1'-6" O.C.

**\*18.7.1**  
 CLASS "A" TREES AND STREET YARD TREES  
 1. ALL SINGLE TRUNK TREE SHALL HAVE A MINIMUM TWO-INCH  
 CALIPER AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF  
 PLANTING.

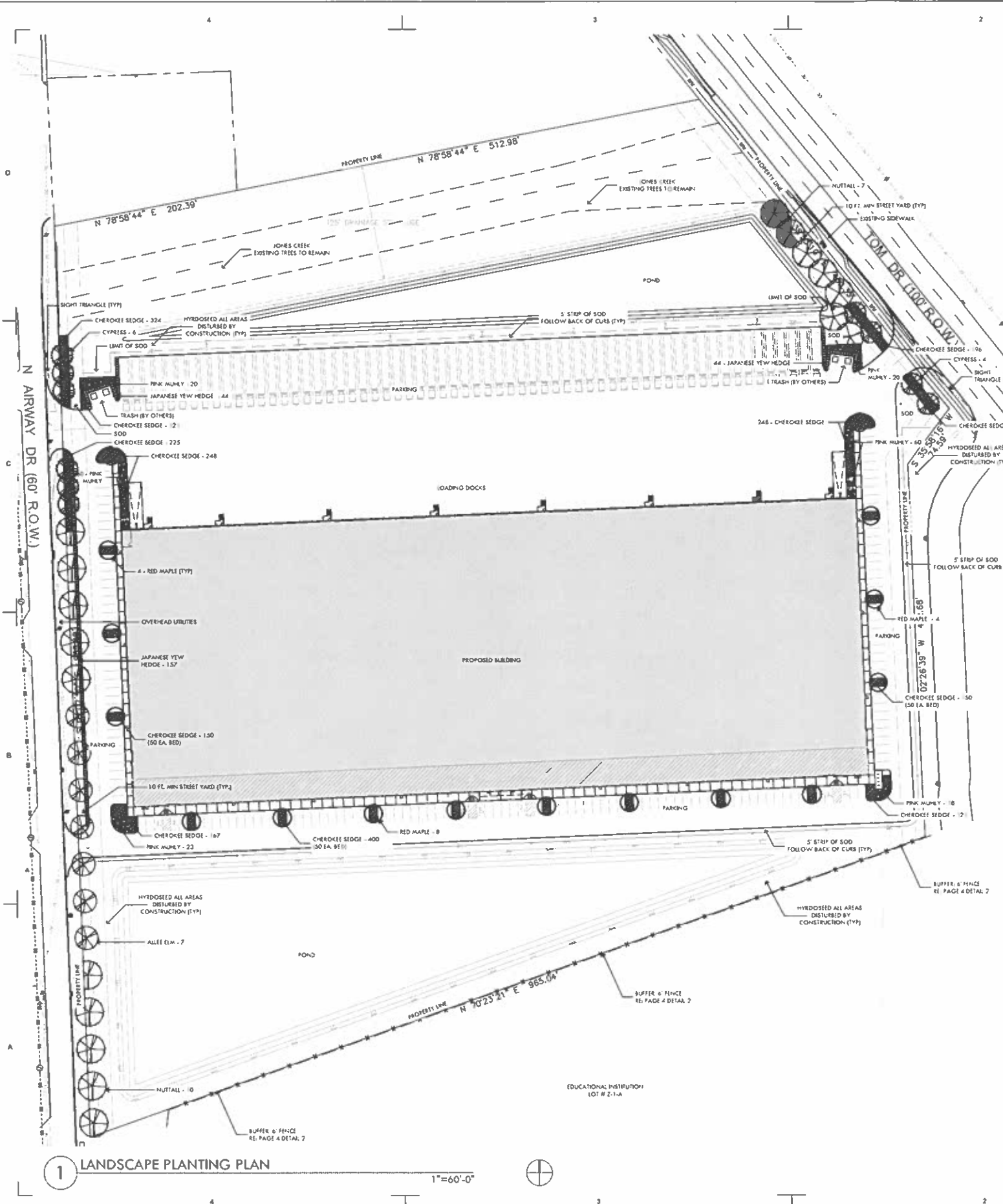
**NOTE**  
 LANDSCAPE ARCHITECT SHALL INSPECT LANDSCAPING  
 FOLLOWING INSTALLATION TO CERTIFY COMPLIANCE  
 WITH APPROVED PLAN

**GENERAL PLANTING NOTES**

1. LOCATE ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. ANY DAMAGE DONE TO EXISTING OR NEW UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO OWNER.
2. PLANTS SHALL BE WELL FORMED, NO. 1 GRADE OR BETTER NURSERY STOCK AND SHALL MEET THE APPLICABLE STANDARDS NOTED HEREIN AND SHALL BE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT.
3. STAKE OUT ALL TREE LOCATIONS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. LOCATE ALL TREES AS SHOWN ON PLAN.
4. COORDINATE WORK WITH THE WORK OF OTHER TRADES ON THE SITE.
5. ENTIRE SITE SHALL BE GRADED TO FINISH GRADE PRIOR TO SCHEDULING PLANTING INSTALLATION.
6. PLANTS SHALL BE SPECIMEN QUALITY, FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND.
7. PLANT MATERIAL OF THE SAME SPECIES SHALL BE MATCHING IN CHARACTER AND SIZE, OBTAINED FROM THE SAME SOURCE.
8. ANY CHANGES IN PLANT MATERIAL SIZE, QUANTITY, SPECIES OR VARIETY MUST BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
9. INSTALLATION MUST BE COMPLIANT WITH LANDSCAPE ORDINANCE STANDARDS.

**LANDSCAPE ORDINANCE STANDARDS**

1. ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE RULES OF GOOD ARBORICULTURAL PRACTICE AS SET FORTH BY THE ANS A300 AND IN THE LOUISIANA NURSERYMAN'S MANUAL FOR THE ENVIRONMENTAL HORTICULTURE INDUSTRY, LATEST EDITION, AS PUBLISHED BY THE LOUISIANA NURSERY AND LANDSCAPE ASSOCIATION, AND CURRENTLY IN EFFECT AT THE TIME OF SUCH WORK.
2. PLANT MATERIAL SHALL BE TRUE TO NAME, VARIETY AND SIZE AND SHALL CONFORM TO ALL APPLICABLE PROVISIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION. ALL LANDSCAPING SHALL BE INSTALLED IN A SOUND MANNER AND IN ACCORDANCE WITH ACCEPTED STANDARDS OF THE LOUISIANA NURSERYMAN'S MANUAL FOR THE ENVIRONMENTAL HORTICULTURE INDUSTRY.
3. TREES AND SHRUBS SELECTED FOR PLANTING SHALL MEET THE MINIMUM REQUIREMENTS PROVIDED IN THE AMERICAN STANDARD FOR NURSERY STOCK, ANS 260.1, LATEST EDITION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
4. PLANT MATERIALS SHALL BE COLD HARDY FOR THE SPECIFIC LOCATION WHERE THEY ARE TO BE PLANTED.
5. PLANT MATERIALS SHALL BE ABLE TO SURVIVE ON NATURAL RAINFALL ONCE ESTABLISHED WITH NO LOSS OF HEALTH.
6. ALL PLANT HEIGHTS SHALL BE MEASURED FROM THE TOP OF THE ROOT BALL TO THE TIP OF THE HIGHEST BRANCH.
7. CLASS "A" TREES AND STREET YARD TREES  
 7.1 ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM TWO-INCH CALIPER AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF PLANTING.  
 7.2 MULTI-TRUNK TREES SHALL HAVE MAIN STEMS WITH A MINIMUM ONE AND ONE-HALF INCH CALIPER PER TRUNK, A MINIMUM OF THREE MAIN STEMS, AND MEASURE A MINIMUM OF TEN FEET TALL AT TIME OF PLANTING.
8. CLASS "B" TREES  
 8.1 ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM ONE AND ONE-HALF INCH CALIPER AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF PLANTING.  
 8.2 MULTI-TRUNK TREES SHALL HAVE MAIN STEMS WITH A MINIMUM ONE-INCH CALIPER PER TRUNK, A MINIMUM OF THREE MAIN STEMS, AND MEASURE A MINIMUM OF EIGHT FEET TALL AT TIME OF PLANTING.
9. CLASS "C" TREES  
 9.1 ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM ONE AND ONE-HALF INCH CALIPER AND MEASURE A MINIMUM OF FIVE FEET TALL AT TIME OF PLANTING.  
 9.2 MULTI-TRUNK TREES SHALL HAVE MAIN STEMS WITH A MINIMUM ONE-INCH CALIPER PER TRUNK, A MINIMUM OF FIVE FEET TALL AT TIME OF PLANTING.
10. SHRUBS  
 10.1 SHRUBS SHALL BE A MINIMUM OF 20 INCHES IN HEIGHT IN A MINIMUM THREE GALLON CONTAINER, UNLESS THEY ARE PLANTED AS A SCREEN FOR AN L3 BUFFER. WHEN PLANTED AS A SCREEN FOR AN L2 BUFFER OR A PARKING LOT, THE MAXIMUM SPACING FOR 20 INCH HIGH SHRUBS SHALL BE 36 INCHES ON CENTER.  
 10.2 SHRUBS PLANTED AS AN L3 BUFFER SHALL BE A MINIMUM OF FOUR FEET IN HEIGHT.  
 10.3 WHEN PLANTED AS AN L3 BUFFER, THE MAXIMUM SPACING FOR FOUR-FOOT HIGH SHRUBS SHALL BE 36 INCHES ON CENTER.  
 10.4 SPACING FOR OTHER REQUIRED PLANT MATERIAL SHALL BE DETERMINED BY THE DEVELOPMENT DIRECTOR.
11. IRRIGATION AND WATERING STANDARD  
 11.1 A WATER SOURCE SHALL BE SUPPLIED WITHIN TWO HUNDRED (200) FEET OF ALL PLANTING BEDS OR A PERMANENT IN-GROUND IRRIGATION SYSTEM SHALL BE PROVIDED.
12. MAINTENANCE  
 12.1 PROPERTY OWNERS AND THEIR AGENTS SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING, AND MAINTAINING ALL REQUIRED LANDSCAPING IN A HEALTHY AND GROWING CONDITION, REPLACING DEAD OR DAMAGED VEGETATION, AND KEEPING ALL LANDSCAPED AREAS FREE OF REFUSE AND DEBRIS.  
 12.2 PROPERTY OWNERS AND THEIR AGENTS SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING, AND MAINTAINING ALL LANDSCAPING WITHIN THE ABUTTING RIGHT-OF-WAY.



**1 LANDSCAPE PLANTING PLAN**  
 1"=60'-0"

**LANDSCAPE PLANTING PLAN**  
 SHEET NUMBER  
**6**

**PROJECT TITLE**  
**61 NORTH LOGISTICS CENTER**  
 8800 Tom Drive  
 Baton Rouge, LA 70815

A PROJECT FOR  
**RATCLIFF**

**GENERAL NOTES**  
 ALL MECHANICAL EQUIPMENT WILL BE LOCATED ON THE ROOF OF THE BUILDING

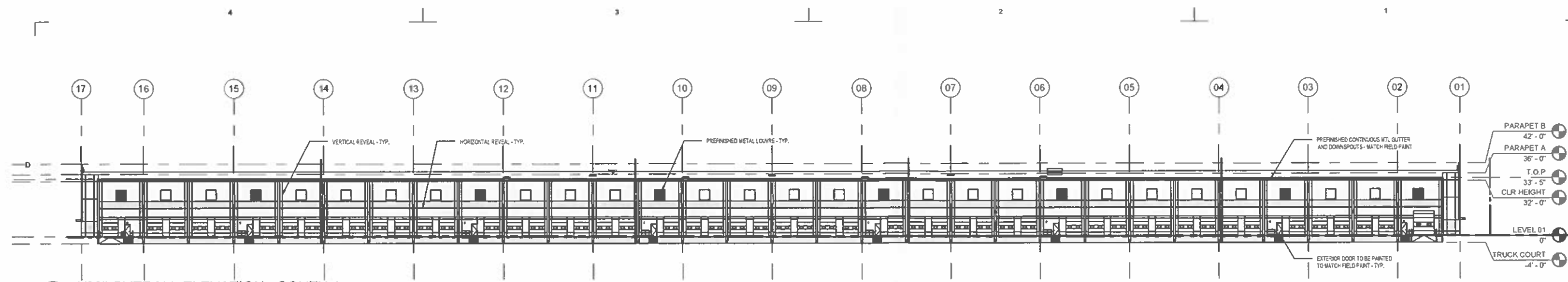
- LEGEND - OVERALL ELEVATIONS**
- PAINTED CONCRETE FIELD PAINT -
  - PAINTED CONCRETE ACCENT PAINT 1 -
  - PREFINISHED METAL CANOPY
  - PAINTED CONCRETE HORIZONTAL FORMLINER - ACCENT PAINT 1
  - GLAZING - SPANDREL
  - GLAZING - VISION

DATE	REVISION
12-05-23	SPE PLAN SUBMITTAL

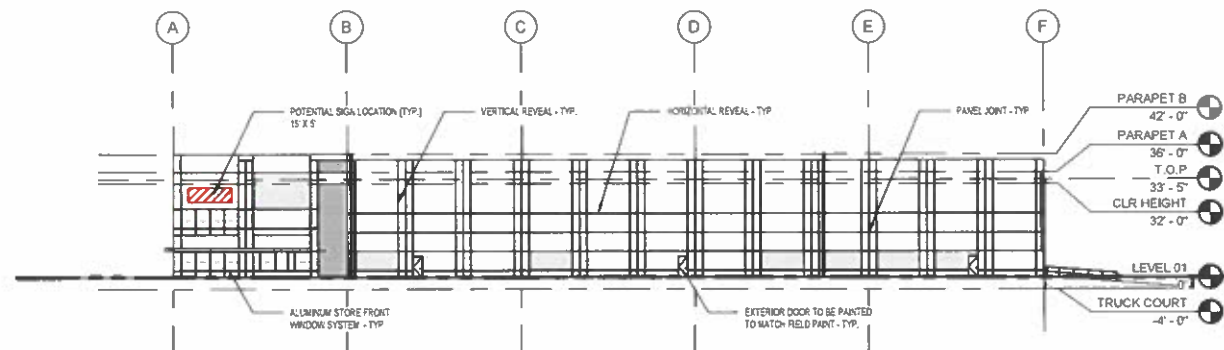
PROJECT NO: 221360  
 DRAWN BY: LR  
 CHECKED BY: AB  
 SHEET NAME

**OVERALL BUILDING ELEVATIONS**

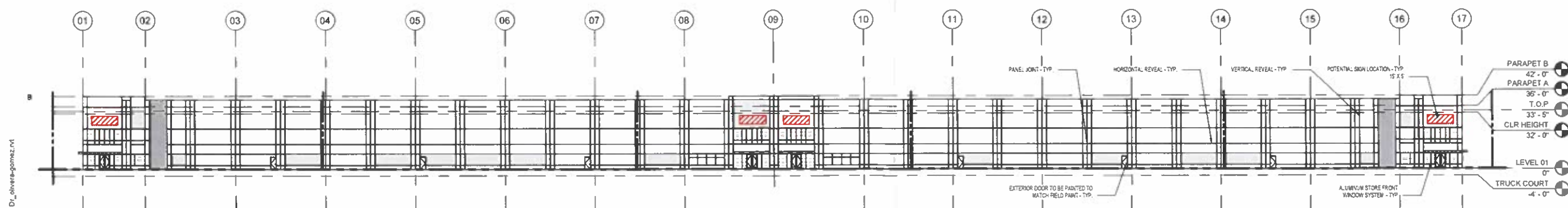
SEAL	SHEET NUMBER
	7
18 OCT. 2023	



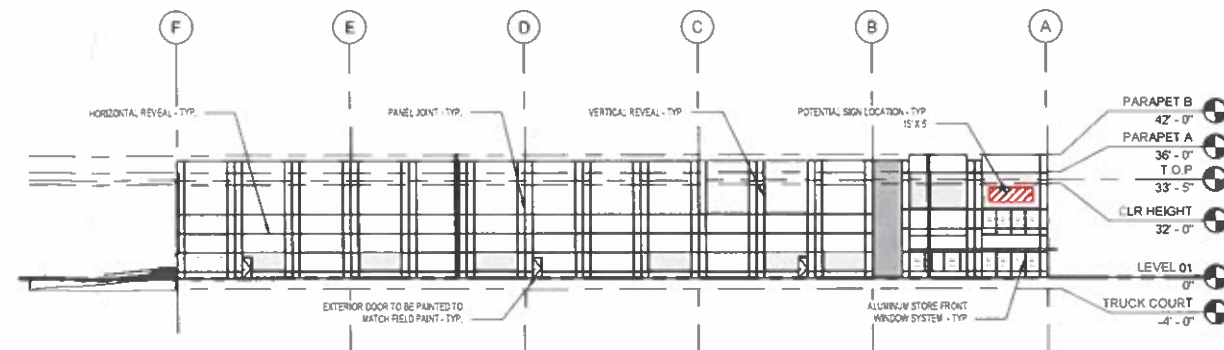
**D** 1/32" OVERALL ELEVATION - SOUTH 1  
 SCALE 1/32" = 1'-0"



**C** 1/32" OVERALL ELEVATION - EAST 1  
 SCALE 1/32" = 1'-0"



**B** 1/32" OVERALL ELEVATION - NORTH 1  
 SCALE 1/32" = 1'-0"



**A** 1/32" OVERALL ELEVATION - WEST 1  
 SCALE 1/32" = 1'-0"

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