

GENERAL NOTES:

- SUBJECT PROPERTY IS SHOWN AND DESIGNATED ON EAST BATON ROUGE PARISH - LOT AND BLOCK MAP - SHEET 36.
- THE APPLICATION FOR REZONING OF THIS PROPERTY HAS BEEN SUBMITTED TO THE EAST BATON ROUGE PARISH PLANNING COMMISSION. THE ASSIGNED REZONING DESIGNATION IS ISPUD-9-19. THE LEGAL DESCRIPTION FOR THIS PROPERTY IS BERNARD TERRACE ADDITION - SQUARE 6 - LOT 13. THE PROPERTY OWNER HAS DESIGNATED THIS PROJECT AS TERRELL COTTAGES, FOR PRIVATE DEVELOPMENT PURPOSES ONLY.

PARKING SUMMARY

PER UNIFIED DEVELOPMENT CODE
SECTION 17.4.1 MINIMUM MOTOR VEHICLE PARKING
TABLE 17.A - MINIMUM PARKING REQUIREMENTS
RESIDENTIAL USES - URBAN/WALKABLE - 2 SPACES PER UNIT

PARKING REQUIRED
SINGLE FAMILY: 2 SPACES PER UNIT
TWO (2) LOTS X 2 SPACES PER UNIT = 4 SPACES

PARKING PROPOSED
TWO (2) LOTS X 2 SPACES PER UNIT = 4 SPACES

BUILDING AREA SUMMARY

TOTAL AREA (S.F.)	DESCRIPTION
2,744 (2 BLDGS)	INCLUDES FIRST FLOOR FOOTPRINT, GARAGE AND PORCH
3,836 (2 BLDGS)	TOTAL BUILDING AREA UNDER ROOF
1,553 (EACH BLDG)	TOTAL LIVING AREA

SITE STATISTICS

LAND USE TYPE	AREA (S.F.)	% OF TOTAL	PROPOSED USE
BUILDINGS	2,744	30.0%	SINGLE FAMILY RESIDENTIAL
PARKING/DRIVES	836	6.9%	ACCESS
SIDEWALK	184	2.0%	PEDESTRIAN SIDEWALK FOR RESIDENTS
GREEN SPACE	5,588	61.1%	GREEN SPACE
TOTALS	9,352	100%	

MINIMUM DESIGN STANDARDS

	ALLOWABLE	EXISTING	PROPOSED
LOT AREA	2.5 AC (MAX)	0.210 AC	0.105 AC
LOT WIDTH		80.00'	40.00'
SETBACKS:			
FRONT YARD	0'	25'	20'
REAR YARD	0'	25'	25'
SIDE YARD	0'	5'	3'
BUILDING HEIGHT	73'	N/A	36.5'
BUILDING COVERAGE		N/A	0.063 AC
FLOOR TO LAND AREA RATIO	2.5 (MAX)	N/A	0.30
IMPERVIOUS COVERAGE		N/A	0.082 AC

ADJACENT PROPERTY INFORMATION

PROPERTY	ZONING	FUTURE LAND USE	EXIST LAND USE	OWNER
SUBURB BAUMAN LOTS 89 & 70	A2	RN	LDR	VICTOR GISCHLER, III
BERN TRC ADD S/2 OF LOT 12	A2	RN	LDR, MDR	KELLY V FOLSE
BERN TRC ADD N/2 OF LOT 14	A2	RN	LDR, MDR	371 EDISON ST. LLC



R. James Tatum 9-25-19
R. JAMES TATUM, P.E./P.L.S. DATE
6920 NORTH MERCHANT COURT
BATON ROUGE, LA 70809
(225) 752 5555 (FAX) 752 5556

TERRELL COTTAGES

ISPUD-9-19

INFILL/MIXED USE SMALL PLANNED UNIT DEVELOPMENT

363 EDISON STREET - BERNARD TERRACE ADDITION - SQUARE 6 - LOT 13
LOCATED IN SECTION 81, TOWNSHIP 7 SOUTH, RANGE 1 EAST, GREENSBURG LAND DISTRICT
EAST BATON ROUGE PARISH, LOUISIANA
SEPTEMBER 25, 2019

SQUARE 6 - LOT 13 - CPPC ID# 920360375

SITE



VICINITY MAP

1" = 1,500'

DEVELOPER / OWNER :

MR. TED TERRELL
TERRELL INVESTMENTS, LLC
18818 BELLA VISTA COURT
BATON ROUGE, LA 70809
T: (225) 252 4900
TEDRTERRELL@YAHOO.COM

ENGINEER / LAND SURVEYOR :

MR. R. JAMES TATUM, P.E./P.L.S.
R. JAMES TATUM, INC.
6920 NORTH MERCHANT COURT
BATON ROUGE, LA 70809
T: (225) 752 5555 F: (225) 752 5556
JMT@TATUMENGINEERING.COM

ARCHITECT

MR. MIKE SULLIVAN, A.I.A.
LOONEY RICKS HISS, L.L.C.
1680 LOBDELL AVENUE, STE. E
BATON ROUGE, LA 70806
T: (225) 928 4905 F: (225) 928 4906
MSULLIVAN@LRK.COM

LANDSCAPE ARCHITECT

MR. SCOTT TREADAWAY, PLA
FERRIS LAND DESIGN, LLC
11854 BRICKSOME AVENUE
BATON ROUGE, LA 70816
T: (225) 292 6838
STREADAWAY@FERRISINC.COM

LEGEND:

- SCHOOL
- PLACE OF WORSHIP
- PUBLIC PARK/CEMETARY
- HOSPITAL
- MUSEUM
- GOVERNMENT/PUBLIC SERVICE
- POLICE
- FIRE
- PUBLIC TRANSPORTATION

SHEET INDEX

SHEET#	DESCRIPTION	DATE
1	TITLE SHEET	09/25/19
2	EXISTING CONDITIONS PLAN	09/25/19
3	DEVELOPMENT / UTILITY PLAN	09/25/19
4	PEDESTRIAN AND VEHICULAR CIRCULATION PLAN	09/25/19
5	LANDSCAPE PLAN	09/05/19
6	ARCHITECTURAL DETAILS	09/04/19
7	PRELIMINARY PLAT	09/25/19

TABLE OF USES

	LOW DENSITY RES.	MED. DENSITY RES.	HIGH DENSITY RES.	COMM / OFFICE	PUBLIC AND SEMI-PUB	INDUST	OPEN SPACE
TOTAL # OF UNITS	-	2	-	N/A	N/A	N/A	-
TOTAL S.F. OF BUILDING	-	3,836	-	-	-	-	-
TOTAL AREA (S.F.)	-	9,152	-	-	-	-	5,588
PERCENTAGE OF SITE	-	42%	-	-	-	-	61%

TABLE OF PARKING SPACES

SECTION, PHASE OR FILING	NUMBER OF SPACES REQUIRED	NUMBER OF SPACES PROPOSED	NUMBER OF HC SPACES PROPOSED	TOTAL # OF SPACES PROPOSED
SECTION, PHASE OR FILING	4	4	0	4
SECTION, PHASE OR FILING	-	-	-	-
SECTION, PHASE OR FILING	-	-	-	-

BUILDING USE CHART

LOT	USE	SIZE
13-A	SINGLE FAMILY RESIDENTIAL	1,553 S.F. LIV. AREA
13-B	SINGLE FAMILY RESIDENTIAL	1,553 S.F. LIV. AREA

GENERAL SITE NOTES:

CPPC ID# 920360375
EXISTING ZONING: A2
PROPOSED ZONING: ISPUD
EXISTING LAND USE: LDR, MDR
FUTURE LAND USE: RN (RESIDENTIAL NEIGHBORHOOD)
CHARACTER AREA: URBAN/WALKABLE
GROSS SITE AREA: 0.210 ACRES
DENSITY: 2 SFR D.U. / 0.210 ACRES = 9.52 UNITS/ACRE
SCHOOL DISTRICTS: EBR-5 SCHOOL DISTRICT
STREETS: EDISON STREET
ASPHALT W/ SUBSURFACE DRAINAGE
WATER DISTRICT: BATON ROUGE WATER COMPANY
SEWER DISTRICT: WSTN
FIRE DISTRICT: BATON ROUGE CITY FIRE DEPARTMENT
FLOOD ZONE: X (SHADED)
F.I.R.M.: 22033C-0235-E

FLOOD NOTE: IN ACCORDANCE WITH FEMA FLOOD INSURANCE RATE MAP PANEL 22033C-0235E FOR EAST BATON ROUGE PARISH, LOUISIANA, LAST REVISED MAY 2, 2008, THE PROPERTY HEREON IS LOCATED IN FLOOD ZONE "X" THE CURRENT ADJACENT BASE FLOOD ELEVATION AND THE RECORD INUNDATION ELEVATION ARE SUBJECT TO CHANGE AND SHOULD BE VERIFIED WITH THE ENGINEERING DIVISION OF THE EAST BATON ROUGE PARISH DEPARTMENT OF DEVELOPMENT.

UTILITIES:

ELECTRIC: ENTERGY AARON LOOGE (225) 346 3928
WATER: BATON ROUGE WATER CO MARGE SWANSON (225) 928 1000
SEWER: EBR PARISH - D.O.D. DESREE DIES (225) 389 5823
GAS: ENTERGY GAS ABBY CAMPO (225) 354 3139
TELEPHONE: AT&T TERRICIA SCOTT (225) 291 1865
CABLE: COX COMMUNICATIONS LATONYA HUNT (225) 237 5014
UNDERGROUND LOCATIONS: LOUISIANA ONE CALL 1 800 272 3020

TITLE SHEET

LOCATION	SCALE	SHEET
363 EDISON STREET, BATON ROUGE, LOUISIANA	1" = 20'	1
DRAWN BY JAS	DATE: 09-25-2019	
CHECKED BY RJT	NO. 219-041	
COG#: 92 \219-041\SPUD_Ver.2.dwg		

TATUM ENGINEERING CONSULTANTS
R. JAMES TATUM, INC. BATON ROUGE, LOUISIANA

NOTES:

1. NO ATTEMPT HAS BEEN MADE BY R. JAMES TATUM, INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS-OF-WAY, OR OTHER BURDENS ON THE PROPERTY OTHER THAN THAT FURNISHED BY THE CLIENT.
2. THIS MAP HAS BEEN COMPILED FROM FIELD MEASUREMENTS AND PREVIOUS SURVEYS AND CLOSELY REPRESENTS CURRENT FIELD CONDITIONS OF THE PROPERTY SHOWN HEREON.
3. THE PLAT SHOWN HEREON HAS BEEN PREPARED FOR THE PURPOSE OF IDENTIFYING, FOR APPROVAL, A PRELIMINARY PLAN FOR THE DEVELOPMENT OF A MEDIUM DENSITY RESIDENTIAL DEVELOPMENT. LOT DIMENSIONS SHOWN HEREON ARE APPROXIMATE AND ARE SUBJECT TO CHANGE AS DICTATED BY A DETAILED SURVEY AND DESIGN.
4. THE SYSTEMS SHOWN HEREON ARE FOR THE PURPOSE OF ESTABLISHING A CONCEPTUAL DESIGN ONLY. THE ENGINEER AND/OR DEVELOPER RESERVE THE RIGHT TO ALTER THESE PRELIMINARY DESIGNS AS DIRECTED BY PLANNING COMMISSION REGULATIONS AND DETAILED ENGINEERING DESIGN.
5. ALL SERVITUDES REQUIRED FOR THE CONFORMITY OF THE FINAL DEVELOPMENT PLAN SHALL BE DETERMINED DURING THE PREPARATION OF THE FINAL PLAT AND SHALL BE SHOWN THEREON.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES AND STRUCTURES, AND SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY THE FAILURE TO DO SO.
7. THE APPROVAL OF THIS PLAT DOES NOT RELIEVE THE IMMEDIATE PROPERTY OWNER OR FUTURE PROPERTY OWNER FROM COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND CITY/PARISH LAWS AND ORDINANCES GOVERNING THE SALE AND DEVELOPMENT OF THE PROPERTY IN PARTICULAR, NO FILING OF THE PROPERTY SHALL BE COMMENCED UNTIL ALL APPLICABLE PROVISIONS OF CHAPTER 15 OF THE UNIFIED DEVELOPMENT CODE ARE ADDRESSED.

ADJACENT PROPERTY INFORMATION				
PROPERTY	ZONING	FUTURE LAND USE	EXIST. USE	OWNER
SUBURB BAUMAN LOTS 69 & 70	A2	RN	LDR	VICTOR GISCHLER, III 2206 STONEMOOD DRIVE BATON ROUGE, LA 70806
BERN TRC ADD S/2 OF LOT 12	A2	RN	LDR, MDR	KELLY V FOLSE 357 EDISON STREET BATON ROUGE, LA 70806
BERN TRC ADD N/2 OF LOT 14	A2	RN	LDR, MDR	371 EDISON STREET, LLC 9448 BROOKLINE AVENUE BATON ROUGE, LA 70809

LEGEND:

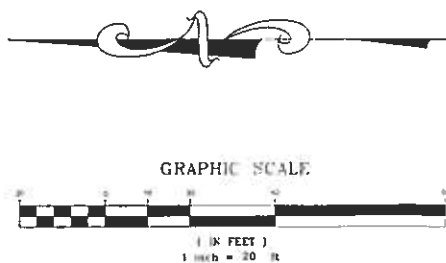
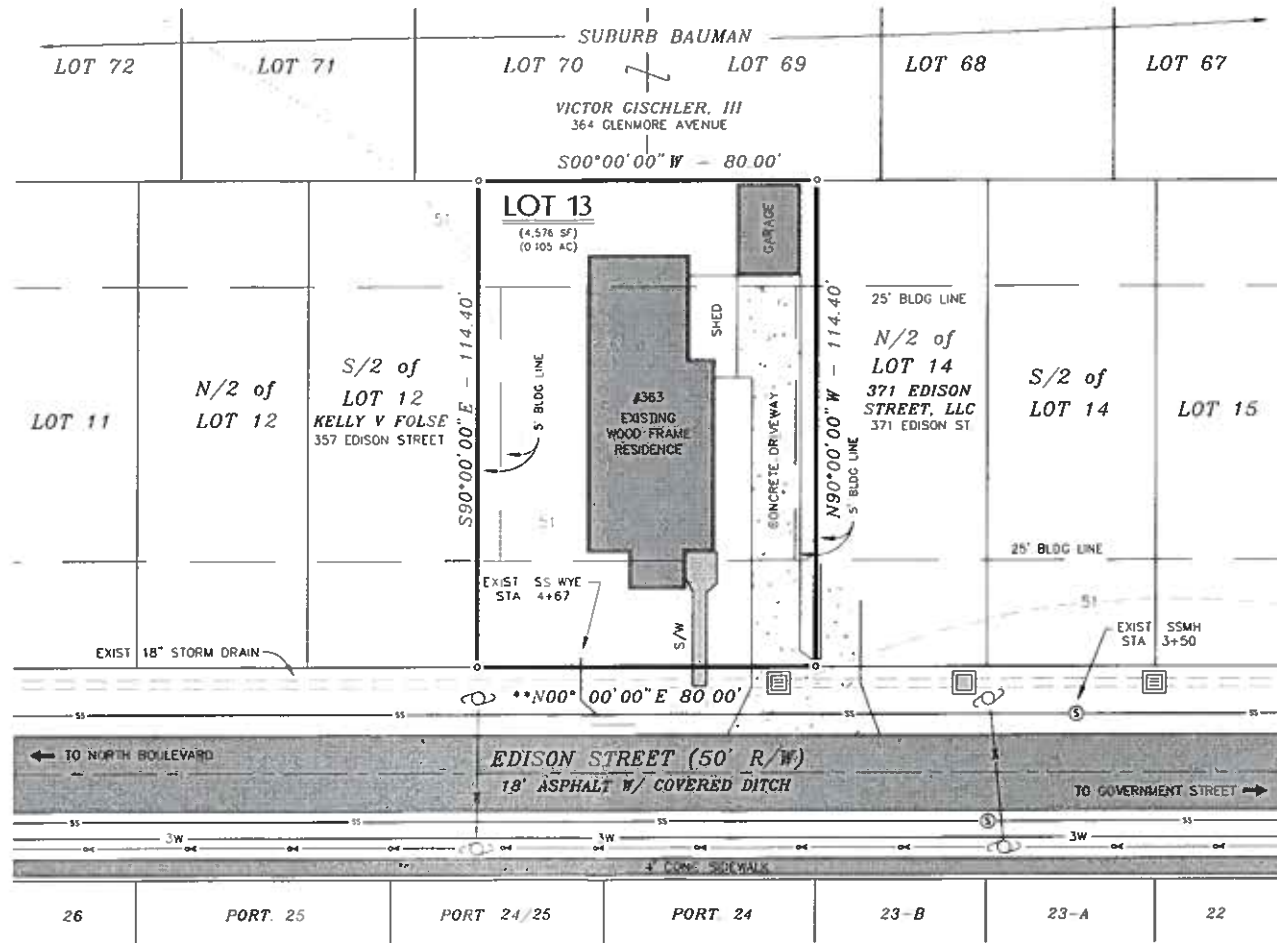
	SANITARY SEWER MANHOLE
	SANITARY SEWER MAIN
	FIRE HYDRANT
	3 INCH WATER MAIN
	SINGLE CATCH BASIN
	STORM PIPE
	GRATE INLET
	POWER POLE
	OVERHEAD ELECTRIC LINE
	OVERHEAD ELECTRIC/ TELEPHONE LINE
	EXISTING CONTOUR
	TO BE REMOVED
	UNDESIGNATED TRACT

DEVELOPMENT NOTES:

1. THE EXISTING WOOD FRAME RESIDENCE, SHED, GARAGE AND OTHER ANCILLARY STRUCTURES ARE SCHEDULED FOR DEVOLITION

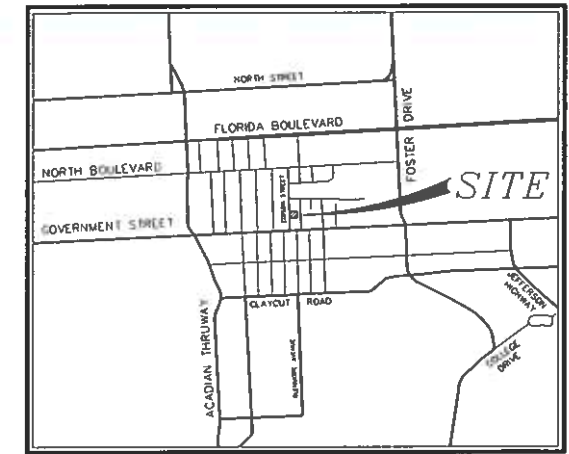


R. James Tatum 9-25-19
 R. JAMES TATUM, P.E./P.L.S. DATE
 6920 NORTH MERCHANT COURT
 BATON ROUGE, LA 70809
 (225) 752-5555 (FAX) 752-5556



GENERAL NOTES:

1. SUBJECT PROPERTY IS SHOWN AND DESIGNATED ON EAST BATON ROUGE PARISH - LOT AND BLOCK MAP - SHEET 36.
2. THE APPLICATION FOR REZONING OF THIS PROPERTY HAS BEEN SUBMITTED TO THE EAST BATON ROUGE PARISH PLANNING COMMISSION. THE ASSIGNED REZONING DESIGNATION IS ISPUD-9-19. THE LEGAL DESCRIPTION FOR THIS PROPERTY IS BERNARD TERRACE ADDITION - SQUARE 6 - LOT 13. THE PROPERTY OWNER HAS DESIGNATED THIS PROJECT AS TERRELL COTTAGES, FOR PRIVATE DEVELOPMENT PURPOSES ONLY.



VICINITY MAP
 1" = 2000'

GENERAL SITE NOTES:

CPPC ID#	920360375
EXISTING ZONING	A2
PROPOSED ZONING	ISPUD
EXISTING LAND USE	LDR, MDR
FUTURE LAND USE	RN (RESIDENTIAL NEIGHBORHOOD)
CHARACTER AREA	URBAN/WALKABLE
GROSS SITE AREA	0.210 ACRES
DENSITY	2 SFR D.U. / 0.210 ACRES = 9.52 UNITS/ACRE
SCHOOL DISTRICTS	EBR-5 SCHOOL DISTRICT
STREETS	EDISON STREET ASPHALT W/ SUBSURFACE DRAINAGE
WATER DISTRICT	BATON ROUGE WATER COMPANY
SEWER DISTRICT	W.S.T.N.
FIRE DISTRICT	BATON ROUGE CITY FIRE DEPARTMENT
FLOOD ZONE	X (SHADED)
F.I.R.M.	22033C-0235-E

FLOOD NOTE: IN ACCORDANCE WITH FEMA FLOOD INSURANCE RATE MAP PANEL 22033C-0235E FOR EAST BATON ROUGE PARISH, LOUISIANA, LAST REVISED MAY 2, 2008, THE PROPERTY HEREON IS LOCATED IN FLOOD ZONE "X". THE CURRENT ADJACENT BASE FLOOD ELEVATION AND THE RECORD INUNDATION ELEVATION ARE SUBJECT TO CHANGE AND SHOULD BE VERIFIED WITH THE ENGINEERING DIVISION OF THE EAST BATON ROUGE PARISH DEPARTMENT OF DEVELOPMENT.

UTILITIES:

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WATER	BATON ROUGE WATER CO.	MARGE SWANSON	(225) 928-1000
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TELEPHONE	AT&T	TERECIA SCOTT	(225) 291-1865
CABLE	COX COMMUNICATIONS	LATONYA HUNT	(225) 237-5014
UNDERGROUND LOCATIONS LOUISIANA ONE CALL 1-800-272-3020			

ISPUD-9-19
 OF
SQUARE 6 - LOT 13
 BERNARD TERRACE ADDITION
 363 EDISON STREET
 LOCATED IN SECTION 81, TOWNSHIP 7 SOUTH, RANGE 1 EAST,
 GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, LOUISIANA
 FOR
TERRELL INVESTMENTS, LLC

EXISTING CONDITIONS		SHEET 2
LOCATION	363 EDISON STREET, BATON ROUGE, LOUISIANA	
DRAWN BY:	JAS	
CHECKED BY:	RJT	
COGO: 92\219-041\SPUD_Ver_2.dwg	W.O.#: 219-041	

TATUM ENGINEERING CONSULTANTS
 R. JAMES TATUM, INC. BATON ROUGE, LOUISIANA

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BERN TRC ADD S/2 OF LOT 12	A2	RN	LDR, MDR	KELLY V FOLSE
BERN TRC ADD N/2 OF LOT 14	A2	RN	LDR, MDR	371 EDISON ST, LLC

TABLE OF USES							
	LOW DENSITY RES	MED. DENSITY RES	HIGH DENSITY RES	COMM OFFICE / SEMI-PUB	PUBLIC AND SEMI-PUB	INDUST	OPEN SPACE
TOTAL # OF UNITS	-	2	-	N/A	N/A	N/A	-
TOTAL S.F. OF BUILDING	-	3,836	-	-	-	-	-
TOTAL AREA (S.F.)	-	9,152	-	-	-	-	5,588
PERCENTAGE OF SITE	-	42%	-	-	-	-	61%

TABLE OF PARKING SPACES				
SECTION, PHASE OR FILING	NUMBER OF SPACES REQUIRED	NUMBER OF SPACES PROPOSED	NUMBER OF HC SPACES PROPOSED	TOTAL # OF SPACES PROPOSED
SECTION, PHASE OR FILING	4	4	0	4
SECTION, PHASE OR FILING	-	-	-	-
SECTION, PHASE OR FILING	-	-	-	-
TOTAL	4	4	0	4

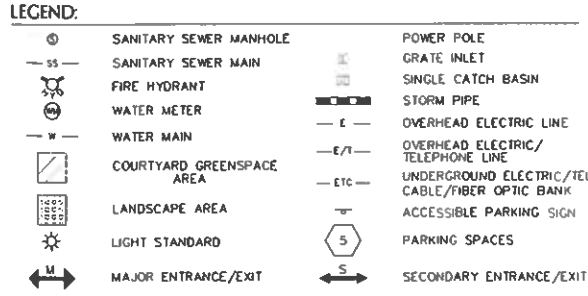
PARKING SUMMARY	
PER UNIFIED DEVELOPMENT CODE SECTION 17.4 - MINIMUM MOTOR VEHICLE PARKING TABLE 17.4 - MINIMUM PARKING REQUIREMENTS RESIDENTIAL USE - URBAN/WALKABLE - 2 SPACES PER UNIT	
PARKING REQUIRED	
SINGLE FAMILY - 2 SPACES PER UNIT TWO (2) LOTS X 2 SPACES PER UNIT = 4 SPACES	
PARKING PROPOSED	
TWO (2) LOTS X 2 SPACES PER UNIT = 4 SPACES	

LIGHTING SCHEDULE NOTE
TYPICAL RESIDENTIAL EXTERIOR LIGHTING ON PORCH AND AT GARAGE ENTRANCE INCANDESCENT FLOOD BULB GENERAL ELECTRIC (TYPICAL - 120V - 90 WATT)

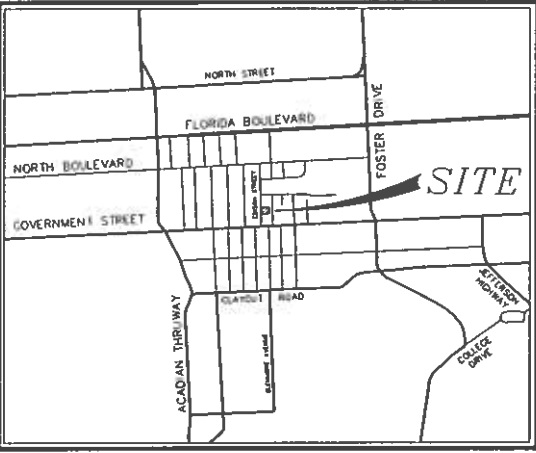
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 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES AND STRUCTURES, AND SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY THE FAILURE TO DO SO.
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 - OWNER SHALL EXECUTE AND RECORD "PRIVATE WATER QUALITY MAINTENANCE COVENANTS" (PWCVC) FOR ALL BMP'S ON SITE PRIOR TO CONSTRUCTION PLAN APPROVAL. THE PWCVC SHALL BE IN ACCORDANCE WITH THE APPROVED WATER QUALITY IMPACT STUDY AND STORMWATER MANAGEMENT PLAN AND SHALL INCLUDE BMP MAINTENANCE ACTIONS AS STATED IN THESE APPROVED DOCUMENTS.
 - SANITARY SEWER SERVICE REQUIRES CONNECTION TO THE EXISTING PUBLIC SANITARY SEWER LOCATED ALONG EDISON STREET. OWNER SHALL BE RESPONSIBLE FOR PAYING ALL CONNECTION AND IMPACT FEES.
 - ALL POTABLE WATER SERVICE SHALL BE PROVIDED BY THE BATON ROUGE WATER COMPANY.

BUILDING AREA SUMMARY	
TOTAL AREA (S.F.)	DESCRIPTION
2,744 (2 BLDGS)	INCLUDES FIRST FLOOR FOOTPRINT, GARAGE AND PORCH
3,836 (2 BLDGS)	TOTAL BUILDING AREA UNDER ROOF
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TOTALS	9,152	100%	



BUILDING USE CHART		
LOT	USE	SIZE
13-A	SINGLE FAMILY RESIDENTIAL	1,553 S.F. LIV. AREA
13-B	SINGLE FAMILY RESIDENTIAL	1,553 S.F. LIV. AREA



VICINITY MAP
1" = 2000'

GENERAL SITE NOTES:

CPPC ID# 920360375
EXISTING ZONING: A2
PROPOSED ZONING: ISPLUD
EXISTING LAND USE: LDR, MDR
FUTURE LAND USE: RN (RESIDENTIAL NEIGHBORHOOD)
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SCHOOL DISTRICTS: EBR-5 SCHOOL DISTRICT
EDISON STREET
STREETS: ASPHALT W/ SUBSURFACE DRAINAGE
WATER DISTRICT: BATON ROUGE WATER COMPANY
SEWER DISTRICT: W.S.T.N.
FIRE DISTRICT: BATON ROUGE CITY FIRE DEPARTMENT
FLOOD ZONE: X (SHADED)
F.I.R.M. 22033C-0235-E

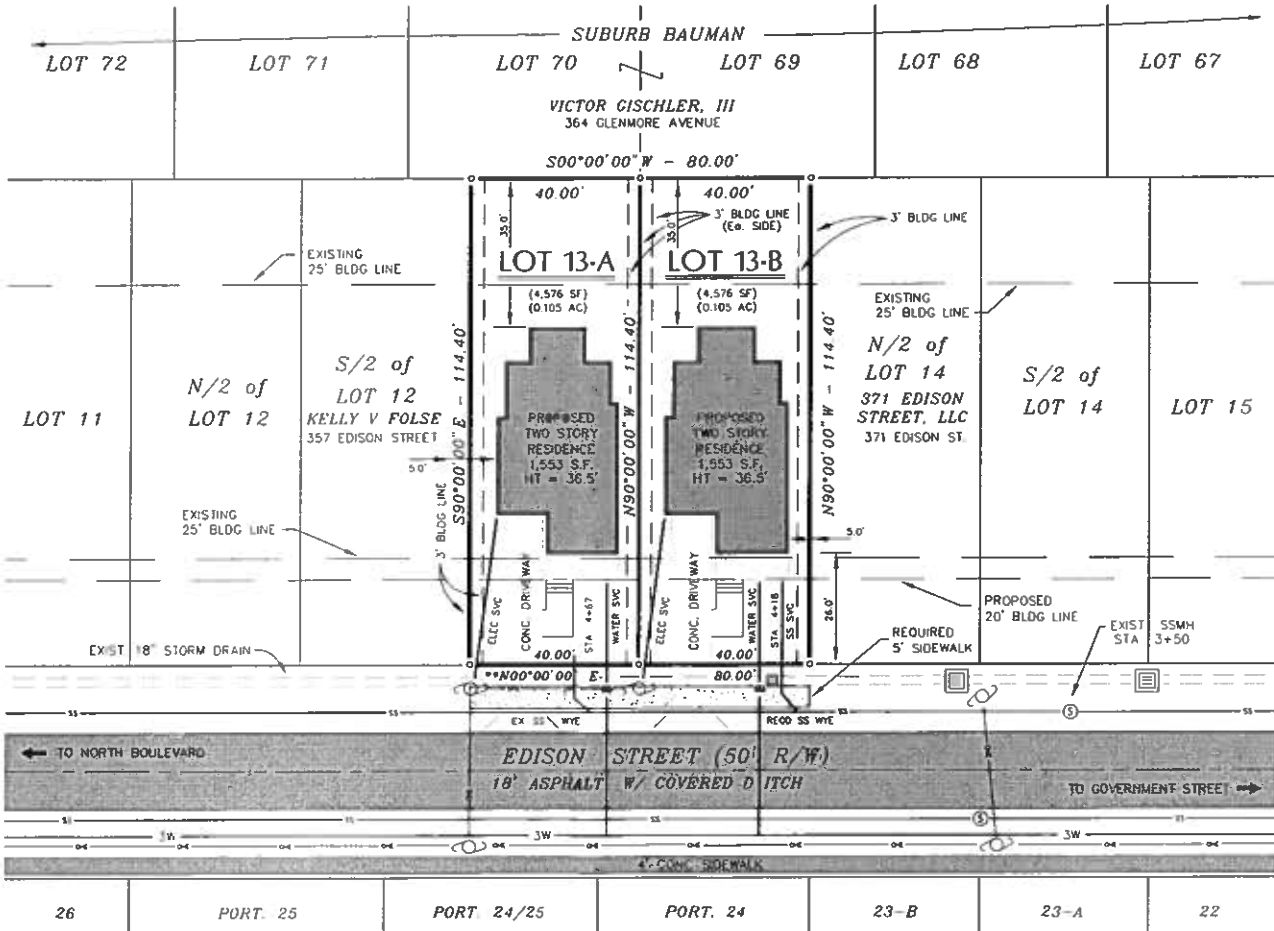
FLOOD NOTE: IN ACCORDANCE WITH FEMA FLOOD INSURANCE RATE MAP PANEL 22003C-0235E FOR EAST BATON ROUGE PARISH LOUISIANA, LAST REVISED MAY 2, 2008, THE PROPERTY HEREON IS LOCATED IN FLOOD ZONE "X". THE CURRENT ADJACENT BASE FLOOD ELEVATION AND THE RECORD INUNDATION ELEVATION ARE SUBJECT TO CHANGE AND SHOULD BE VERIFIED WITH THE ENGINEERING DIVISION OF THE EAST BATON ROUGE PARISH DEPARTMENT OF DEVELOPMENT.

UTILITIES:

ELECTRIC	ENERGY	AARON LODGE	(225) 346.3928
WATER	BATON ROUGE WATER CO.	MARGE SWANSON	(225) 928.1000
SEWER	E.B.R. PARISH - D.O.D.	DESIREE DIES	(225) 389.5623
GAS	ENERGY GAS	ABBY CAMPO	(225) 354.3139
TELEPHONE	AT&T	TERECITA SCOTT	(225) 291.1865
CABLE	COX COMMUNICATIONS	LATONYA HUNT	(225) 237.5014

UNDERGROUND LOCATIONS
LOUISIANA ONE CALL 1.800.272.3020

PROPOSED MUNICIPAL NUMBERS:
PROPOSED LOT 13-A 363 EDISON STREET
PROPOSED LOT 13-B 365 EDISON STREET



GENERAL DESCRIPTION
THE PROPOSED TERRELL COTTAGES DEVELOPMENT IS LOCATED ON APPROXIMATELY 0.210 ACRES, AND IS A PROPOSED SINGLE FAMILY RESIDENTIAL DEVELOPMENT CONSISTING OF 2 LOTS WITH 4 PARKING SPACES AND FRONT AND REAR YARDS. APPROXIMATELY 30.0% OF THE SITE CONSISTS OF THE PROPOSED BUILDING, APPROXIMATELY 6.9% OF THE SITE CONSISTS OF THE PROPOSED PARKING/DRIVES, APPROXIMATELY 2.0% OF THE SITE CONSISTS OF THE PROPOSED SIDEWALK, AND APPROXIMATELY 61.1% OF THE SITE CONSISTS OF LANDSCAPING/GREEN SPACE.

WASTE MANAGEMENT / REFUSE NOTE:
WASTE WILL BE HANDLED VIA RESIDENTIAL TRASH CANS FOR TUESDAY AND FRIDAY PICK-UP. CANS WILL BE STORED IN GARAGES.

BUILDING SIGNAGE NOTE:
BUILDING SIGNAGE WILL NOT BE UTILIZED IN THIS PROJECT.

MAIL KIOSK NOTE:
THE PROPOSED MAILBOX RECEPTACLES WILL BE MOUNTED ON THE FRONT OF THE RESIDENCES, NEAR PROPOSED SIDEWALKS.

SIDEWALK NOTE:
EXISTING NEIGHBORHOOD SIDEWALKS ARE LOCATED ALONG THE WESTERN SIDE OF EDISON STREET. THE ON-SITE SIDEWALKS SHALL BE 4" THICK P.C. CONCRETE, 5' IN WIDTH (MIN.). COLOR SHALL BE TYPICAL CONCRETE GRAY.



R. James Tatum
R. JAMES TATUM, P.E./P.L.S.
6920 NORTH MERCHANT COURT
BATON ROUGE, LA 70809
(225) 752 5555 (FAX) 752 5556

ISPUD-9-19
OF
SQUARE 6 - LOT 13
BERNARD TERRACE ADDITION
363 EDISON STREET
LOCATED IN SECTION 81, TOWNSHIP 7 SOUTH, RANGE 1 EAST,
GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, LOUISIANA
FOR
TERRELL INVESTMENTS, LLC

DEVELOPMENT / UTILITY PLAN		SHEET 3
LOCATION: 363 EDISON STREET, BATON ROUGE, LOUISIANA	SCALE: 1" = 20'	
DRAWN BY: JAS	DATE: 09-25-2019	
CHECKED BY: RJT	W.O.#: 219-041	
COGO: 92 \219-041\SPUD_Ver.2.dwg		

TATUM ENGINEERING CONSULTANTS
BATON ROUGE, LOUISIANA
R. JAMES TATUM, INC.

NOTES

1. NO ATTEMPT HAS BEEN MADE BY R. JAMES TATUM, INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS-OF-WAY, OR OTHER BURDENS ON THE PROPERTY OTHER THAN THAT FURNISHED BY THE CLIENT.
2. THIS MAP HAS BEEN COMPILED FROM PREVIOUS SURVEYS AND DOES NOT REPRESENT A CURRENT FIELD SURVEY OF THE PROPERTY SHOWN HEREON.
3. THE PLAT SHOWN HEREON HAS BEEN PREPARED FOR THE PURPOSE OF IDENTIFYING, FOR APPROVAL, A PRELIMINARY PLAN FOR THE DEVELOPMENT OF A MEDIUM DENSITY RESIDENTIAL DEVELOPMENT. LOT DIMENSIONS SHOWN HEREON ARE APPROXIMATE AND ARE SUBJECT TO CHANGE AS DICTATED BY A DETAILED SURVEY AND DESIGN.
4. THE SYSTEMS SHOWN HEREON ARE FOR THE PURPOSE OF ESTABLISHING A CONCEPTUAL DESIGN ONLY. THE ENGINEER AND/OR DEVELOPER RESERVE THE RIGHT TO ALTER THESE PRELIMINARY DESIGNS AS DIRECTED BY A DETAILED ENGINEERING DESIGN.
5. ALL SERVITUDES REQUIRED FOR THE CONFORMITY OF THE FINAL DEVELOPMENT PLAN SHALL BE DETERMINED DURING THE PREPARATION OF THE FINAL PLAT AND SHALL BE SHOWN THEREON.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES AND STRUCTURES, AND SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY THE FAILURE TO DO SO.
7. THE APPROVAL OF THIS PLAT DOES NOT RELIEVE THE IMMEDIATE PROPERTY OWNER OR FUTURE PROPERTY OWNER FROM COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND CITY/PARISH LAWS AND ORDINANCES GOVERNING THE SALE AND DEVELOPMENT OF THE PROPERTY IN PARTICULAR, NO FILING OF THE PROPERTY SHALL BE COMMENCED UNTIL ALL APPLICABLE PROVISIONS OF CHAPTER 15 OF THE UNIFIED DEVELOPMENT CODE ARE ADDRESSED.

GENERAL NOTES

1. SUBJECT PROPERTY IS SHOWN AND DESIGNATED ON EAST BATON ROUGE PARISH - LOT AND BLOCK MAP - SHEET 36.
2. THE APPLICATION FOR REZONING OF THIS PROPERTY HAS BEEN SUBMITTED TO THE EAST BATON ROUGE PARISH PLANNING COMMISSION. THE ASSIGNED REZONING DESIGNATION IS ISPU9-9-19. THE LEGAL DESCRIPTION FOR THIS PROPERTY IS BERNARD TERRACE ADDITION - SQUARE 6 - LOT 13. THE PROPERTY OWNER HAS DESIGNATED THIS PROJECT AS TERRELL COTTAGES, FOR PRIVATE DEVELOPMENT PURPOSES ONLY.

TABLE OF PARKING SPACES

SECTION, PHASE OR FILING	NUMBER OF SPACES REQUIRED	NUMBER OF SPACES PROPOSED	NUMBER OF HC SPACES PROPOSED	TOTAL # OF SPACES PROPOSED
SECTION, PHASE OR FILING	4	4	0	4
SECTION, PHASE OR FILING	-	-	-	-
SECTION, PHASE OR FILING	-	-	-	-
TOTAL	4	4	0	4

BUILDING USE CHART

LOT	USE	SIZE
13-A	SINGLE FAMILY RESIDENTIAL	1,553 S.F. LIV. AREA
13-B	SINGLE FAMILY RESIDENTIAL	1,553 S.F. LIV. AREA

BUS / TRANSIT ROUTE NOTE

THE NEAREST BUS ROUTE IS ALONG GOVERNMENT STREET. EXISTING SIDEWALKS ARE ALONG EDISON STREET. PROVIDE PEDESTRIAN ACCESS TO THE BUS ROUTE. LOCAL TRANSIT OFFICIALS HAVE INDICATED THAT BUS SERVICE MAY BE INTERRUPTED DURING GOVERNMENT STREET CONSTRUCTION.

LIGHTING NOTES

TYPICAL RESIDENTIAL EXTERIOR LIGHTING ON PORCH AND AT GARAGE ENTRANCE INCANDESCENT FLOOD BULB GENERAL ELECTRIC (TYPICAL) EXTERIOR WALL MOUNTED LIGHT FIXTURES SHALL BE MOUNTED AT 11' AFF UNLESS NOTED OTHERWISE.

SIDEWALK NOTES

EXISTING NEIGHBORHOOD SIDEWALKS ARE LOCATED ALONG THE WESTERN SIDE OF EDISON STREET. THE ON-SITE SIDEWALKS SHALL BE 4" THICK P.C. CONCRETE, 5' IN WIDTH (MIN). COLOR SHALL BE TYPICAL CONCRETE GRAY.

PARKING SUMMARY

PER UNIFIED DEVELOPMENT CODE
SECTION 17.4.1 MINIMUM MOTOR VEHICLE PARKING
TABLE 17.A - MINIMUM PARKING REQUIREMENTS
RESIDENTIAL USES - URBAN/WALKABLE - 2 SPACES PER UNIT

PARKING REQUIRED
SINGLE FAMILY: 2 SPACES PER UNIT
TWO (2) LOTS X 2 SPACES PER UNIT = 4 SPACES

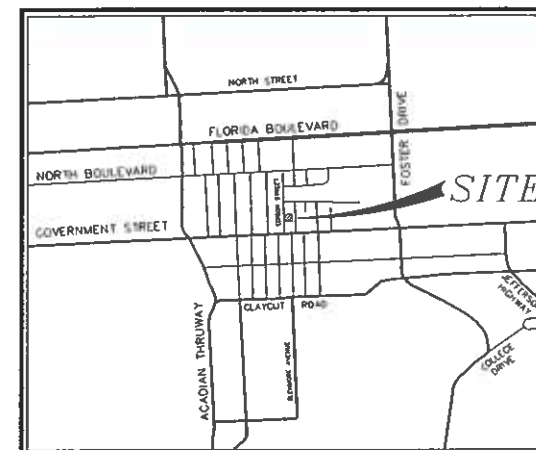
PARKING PROPOSED
TWO (2) LOTS X 2 SPACES PER UNIT = 4 SPACES

BUILDING AREA SUMMARY

TOTAL AREA (S.F.)	DESCRIPTION
2,744 (2 BLDGS)	INCLUDES FIRST FLOOR FOOTPRINT, GARAGE AND PORCH
3,836 (2 BLDGS)	TOTAL BUILDING AREA UNDER ROOF
1,553 (EACH BLDG)	TOTAL LIVING AREA

SITE STATISTICS

LAND USE TYPE	AREA (S.F.)	% OF TOTAL	PROPOSED USE
BUILDINGS	2,744	30.0%	SINGLE FAMILY RESIDENTIAL
PARKING/DRIVES	636	6.9%	ACCESS
SIDEWALK	184	2.0%	PEDESTRIAN SIDEWALK FOR RESIDENTS
GREEN SPACE	5,588	61.1%	GREEN SPACE
TOTALS	9,152	100%	



VICINITY MAP
1" = 2000'

GENERAL SITE NOTES

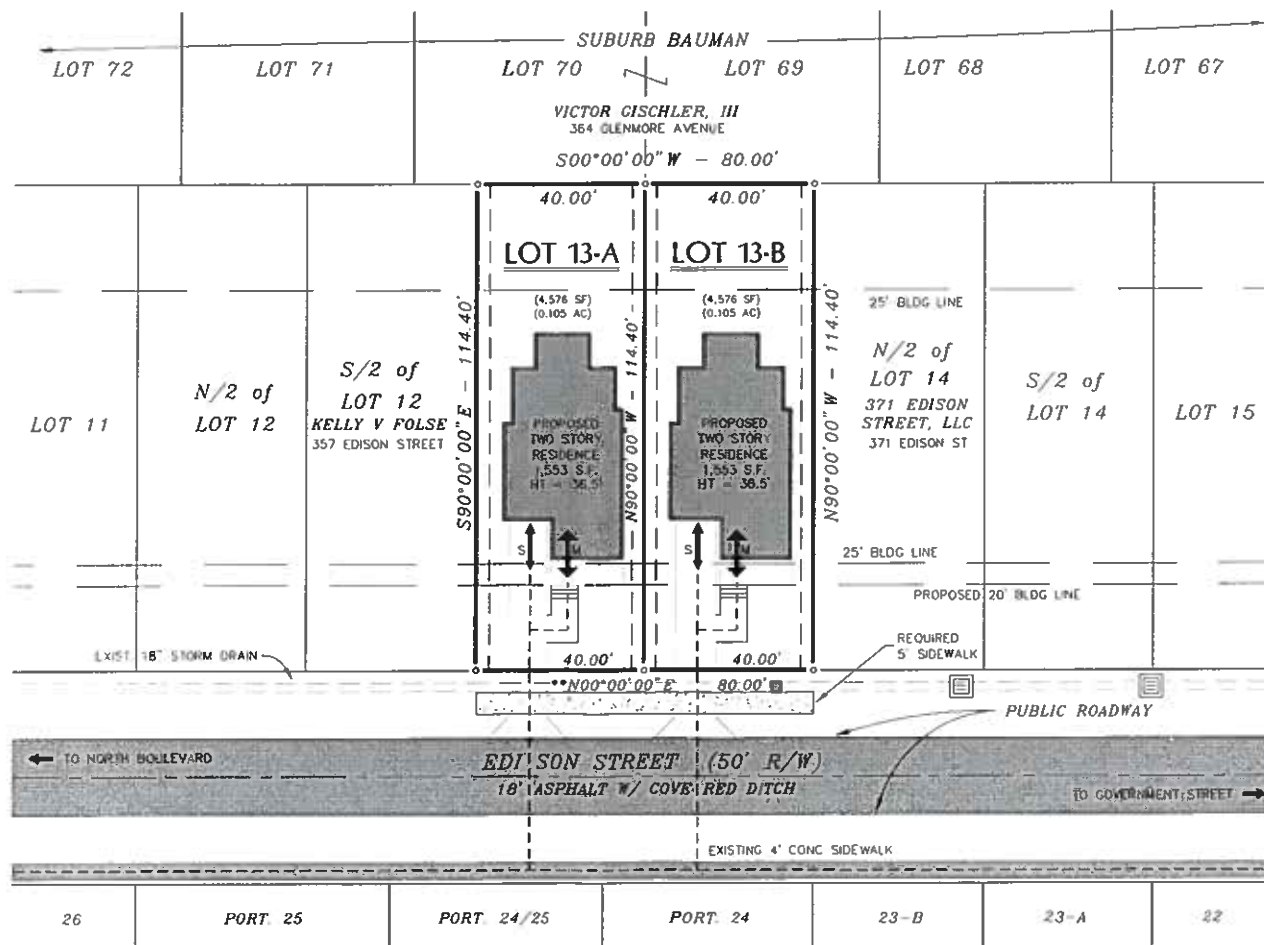
CPCC ID# 920360375
EXISTING ZONING: A2
PROPOSED ZONING: ISPU9
EXISTING LAND USE: LDR, MDR
FUTURE LAND USE: RM (RESIDENTIAL NEIGHBORHOOD)
CHARACTER AREA: URBAN/WALKABLE
GROSS SITE AREA: 0.210 ACRES
DENSITY: 2 SFR D.U. / 0.210 ACRES = 9.52 UNITS/ACRE
SCHOOL DISTRICTS: EBR-5 SCHOOL DISTRICT
STREETS: EDISON STREET
ASPHALT W/ SUBSURFACE DRAINAGE
WATER DISTRICT: BATON ROUGE WATER COMPANY
SEWER DISTRICT: W.S.T.N.
FIRE DISTRICT: BATON ROUGE CITY FIRE DEPARTMENT
FLOOD ZONE: X (SHADED)
F.I.R.M.: 22033C-0235-E

FLOOD NOTE: IN ACCORDANCE WITH FEMA FLOOD INSURANCE RATE MAP PANEL 22003C-0235E FOR EAST BATON ROUGE PARISH LOUISIANA, LAST REVISED MAY 2, 2008, THE PROPERTY HEREON IS LOCATED IN FLOOD ZONE "X". THE CURRENT ADJACENT BASE FLOOD ELEVATION AND THE RECORD INUNDATION ELEVATION ARE SUBJECT TO CHANGE AND SHOULD BE VERIFIED WITH THE ENGINEERING DIVISION OF THE EAST BATON ROUGE PARISH DEPARTMENT OF DEVELOPMENT.

UTILITIES

ELECTRIC	ENTERGY	AARON LODGE	(225) 346.3928
WATER	BATON ROUGE WATER CO	MARGE SWANSON	(225) 928.1000
SEWER	E.B.R. PARISH - D.O.D	DESIREE DIES	(225) 389.5623
GAS	ENTERGY GAS	ABBY CAMPO	(225) 354.3139
TELEPHONE	AT&T	TERECITA SCOTT	(225) 291.1865
CABLE	COX COMMUNICATIONS	LATONYA HUNT	(225) 237.5014

UNDERGROUND LOCATIONS
LOUISIANA ONE CALL 1.800.272.3020



GRAPHIC SCALE



LEGEND

- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- WATER METER
- POWER POLE
- GRATE INLET
- MAJOR ENTRANCE/EXIT
- SECONDARY ENTRANCE/EXIT
- SINGLE CATCH BASIN
- ACCESSIBLE PARKING SIGN
- LIGHT STANDARD
- PEDESTRIAN PATH
- ADA ACCESSIBLE ROUTE
- PARKING SPACES



R. James Tatum
R. JAMES TATUM, PE/P.L.S.
6920 NORTH MERCHANT COURT
BATON ROUGE, LA 70809
(225) 752 5555 (FAX) 752 5556

ISPU9-9-19

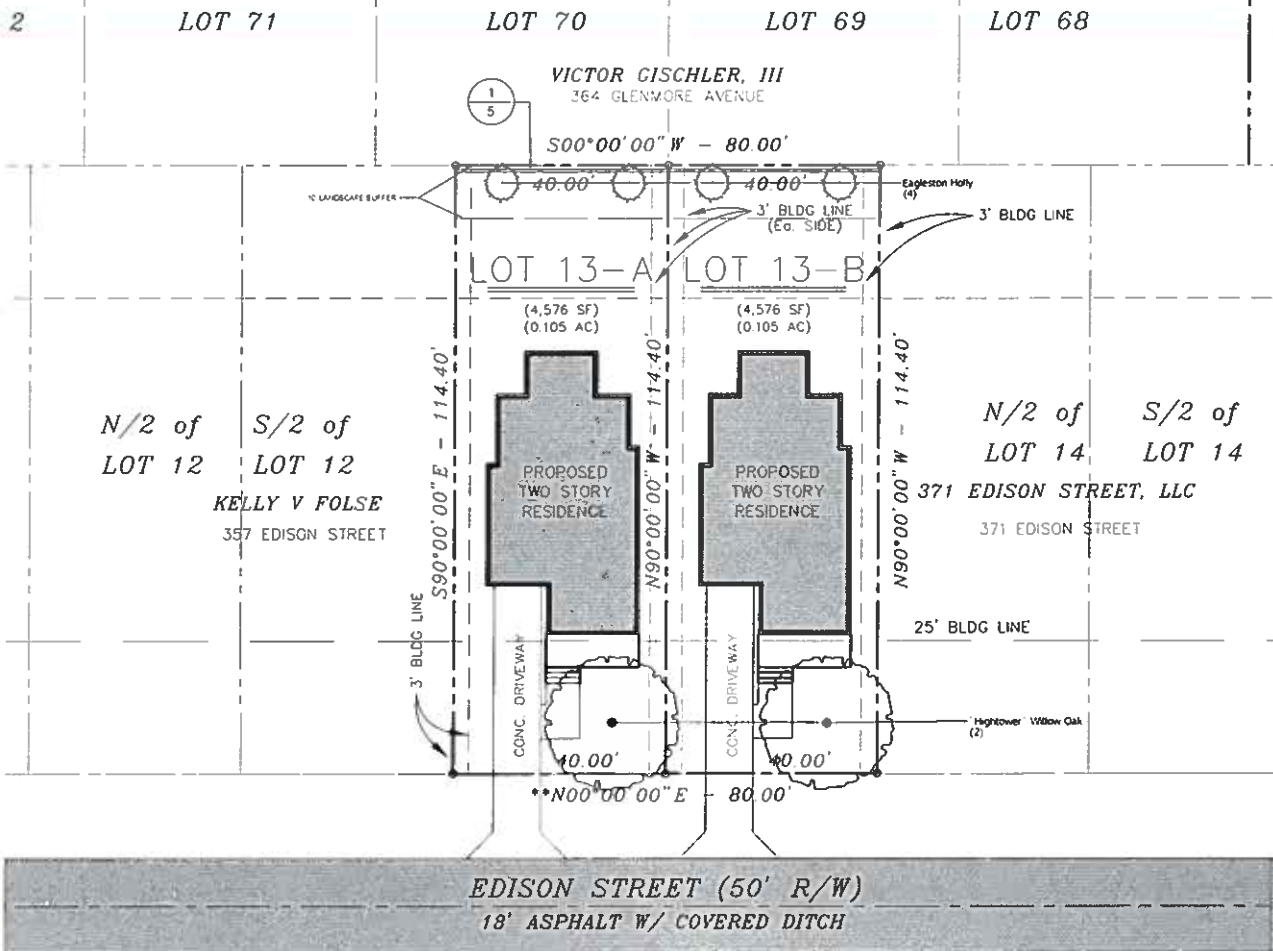
SQUARE 6 - LOT 13
BERNARD TERRACE ADDITION
363 EDISON STREET

LOCATED IN SECTION 81, TOWNSHIP 7 SOUTH, RANGE 1 EAST,
GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, LOUISIANA

FOR
TERRELL INVESTMENTS, LLC

PEDESTRIAN AND VEHICULAR CIRCULATION PLAN		SHEET
LOCATION: 363 EDISON STREET, BATON ROUGE, LOUISIANA		4
DRAWN BY: JAS	SCALE: 1" = 20'	
CHECKED BY: RJT	DATE: 09-25-2019	
COGO: 92.1219-041VSPUB_Ver_2.dwg	W.D.#: 219-041	

TATUM ENGINEERING CONSULTANTS
R. JAMES TATUM, INC. BATON ROUGE, LOUISIANA



PLANT SCHEDULE

TREES	COMMON NAME	CONT	CAL	SIZE	QTY
(Symbol)	EAGLESTON HOLLY	30 GAL FULL		8-10' HT STD FULL	4
(Symbol)	HIGHTOWER WILLOW OAK	30 GAL	2" CAL MIN	10-12' HT FULL	2

EAST BATON ROUGE PARISH LANDSCAPE CALCULATIONS FOR
363 EDISON STREET

Percentage of Landscape Area (L.A.):
L.A. = (Total Area of Landscaped Area) / (Total Area of Site) = 100%

Buffer Table (L.A. 2.1.1.2, Table 2, 8, and 10)

Buffer Type	Min Buffer Type (Feet)	Max Buffer Type (Feet)
Existing Adj. Use	10	10
Water	10	10
Buffer Type	10	10

Plant Table (L.A. 2.1.1.2, Table 2, 8, and 10)

Plant Type	Class	Area (SF)	Required	Provided
Class A Trees	1/40 LF	7	Required	Provided
	1/20 LF	2	Required	Provided
Class B Trees	1/20 LF	4	Required	Provided
	1/40 LF	4	Required	Provided

Planting Method (L.A. 2.1.1.2)

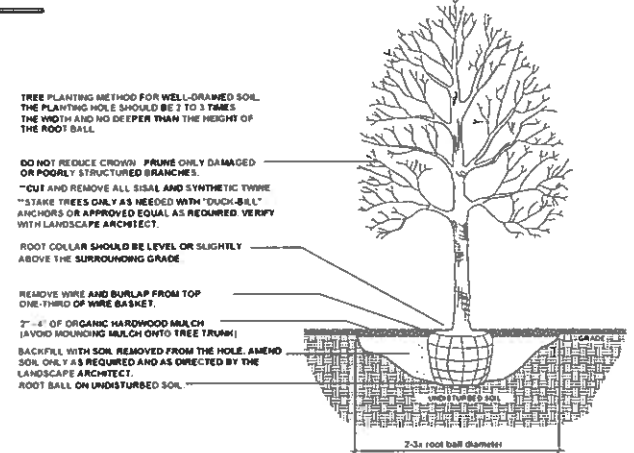
Planting Method	Required	Provided
Class A Trees w/in 100' of each parking space	N/A	Provided
Spacing to trees based on crown cover, species, or other plant material	Provided	Provided
Soil/soil amendments	Provided	Provided
Design adhere to Table 8 of Landscape Code?	Yes	Provided

Water Requirements (L.A. 2.1.1.2)

Water Requirement	Required	Provided
Have ground water/irrigation systems screened by certified agency	Yes	Provided
Height of shrubs/mulches per minimum height of screened street?	Yes	Provided
Mulch has been for required access to screened street?	Yes	Provided
No trees or shrubs w/in 10' of fire hydrant or public utility structures?	Yes	Provided

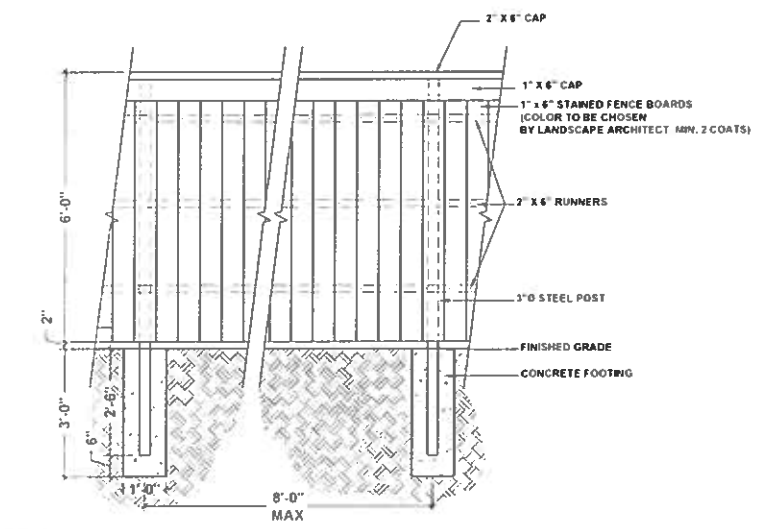
- GENERAL NOTES:**
- All tree, shrub, and bed locations are to be laid out in the field by the Contractor and approved by the Landscape Architect prior to installation. Give the Landscape Architect 72 hours notice.
 - The contractor shall be responsible in determining quantities that meet the design intent.
 - All plant material shall be container grown unless noted otherwise.
 - Apply a pre-emergent herbicide to all bed prep areas.
 - All organic mulches and pine straw shall be free of deleterious materials, insect larvae, weed seed, and animal pathogens. Mulch shall be more than 95% hardwood, composted a minimum of 100 days. Size of mulch shavings shall not exceed 1-1/2".
 - Remove waste materials, including grass, vegetation, and turf, and legally dispose of it off of Owner's property.
 - Totally grub areas to receive beds and/or sod by chemically eradicating emerging vegetation, removing existing vegetation after vegetation is dead, then proceeding with proper bed and sod installation in accordance with the Planting Plan. Remove roots, plants, sods, stones, clay lumps, and other extraneous materials harmful to plant growth.
 - Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod; DO NOT OVERLAP OR STRETCH. Stagger sod strips or pads to offset joints in adjacent courses. Avoid contact to subgrade or sod during installation. Tamp and roll lightly to ensure contact with subgrade, eliminate air pockets, and form a smooth surface.
 - Grade lawn and grass areas to a smooth, even surface with loose, uniformly fine texture. Roll and rake, remove ridges, and fill in depressions to meet finish grades and ensure positive drainage.
 - Any and all soil mixes must be free of biological contaminants and weeds.
 - Landscape beds and sod should be 100% irrigated for best performance.
 - Irrigation zones for landscape beds and sod areas should be kept separate.

- PROJECT NOTES:**
- An automatic irrigation system is recommended for all new planting. Irrigation shall meet, at a minimum, the requirements set forth per Section 18.7.4 of the East Baton Rouge Unified Development Code.
 - All trees and shrubs planted shall conform to the minimum standards of Chapter 18 of the East Baton Rouge Unified Development Code.



TREE PLANTING (TYP.)

SCALE: NTS



6' WOOD FENCE DETAIL

1

FERRIS
LAND DESIGN, LLC

11854 Bricksome Avenue
Baton Rouge, LA 70816
225.292.5838 225.292.0441 Fax
Email: Ldesign@ferrisinc.com

CLIENT
TERRELL INVESTMENT, L.L.C.

PROJECT INFORMATION

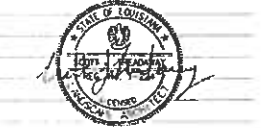
Project Manager: Scott J. Treadway
Drawn By: ST
Date: September 2019
Scale: 1/16" = 1'-0"



ISSUES & REVISIONS

No	Date	Issues and Revisions
1.	09/05/2019	Issue for Review

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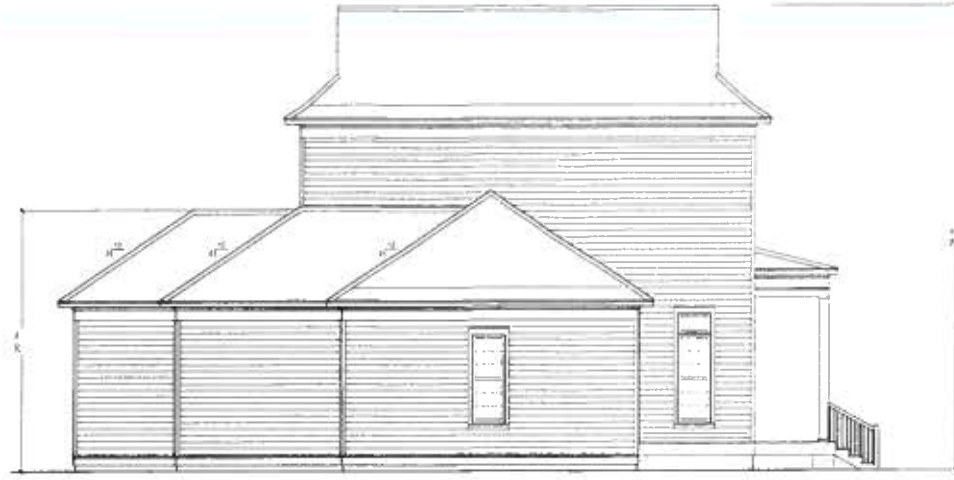
PROJECT NAME
**363 EDISON STREET-ISPUD
LANDSCAPE CONSTR. PLANS**

PROJECT NUMBER
2019-62
DRAWING NAME
LANDSCAPE PLAN

SHEET NUMBER



1 FRONT ELEVATION
SCALE 3/16" = 1'-0"



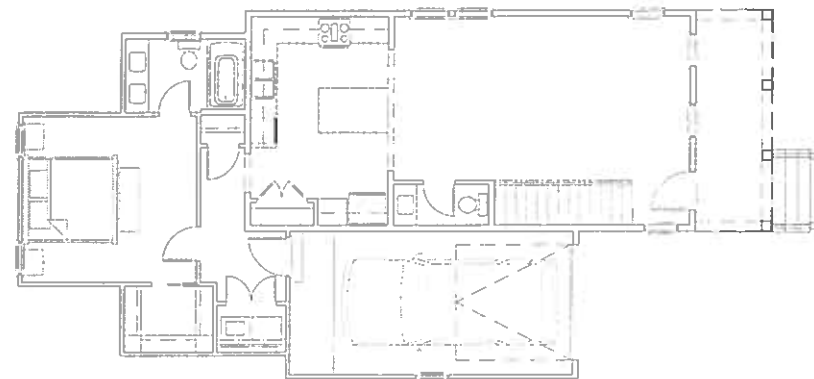
2 SIDE ELEVATION
SCALE 3/16" = 1'-0"



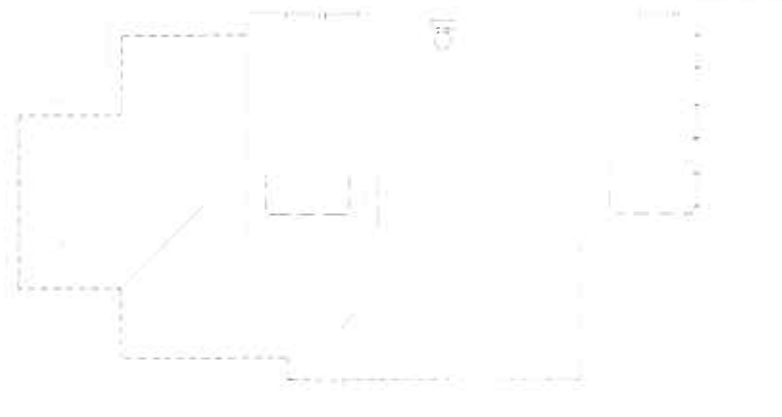
3 REAR ELEVATION
SCALE 3/16" = 1'-0"



4 SIDE ELEVATION
SCALE 3/16" = 1'-0"



5 FIRST FLOOR PLAN
SCALE 3/16" = 1'-0"



5 SECOND FLOOR PLAN
SCALE 3/16" = 1'-0"

NOTE:
ALL GUTTERS ARE TO BE HALF ROUND AND ALL DOWNSPOUTS ARE TO BE HALF ROUND

NOTE:
CONTRACTOR TO PROVIDE ROOF VENTS, POWER VENTS, ETC. AS REQUIRED FOR ADEQUATE ATTIC VENTILATION

PROVIDE FLASHING AT ALL ROOF WALL INTERSECTIONS AND DOOR HEADS AND ANY OTHER HORIZONTAL TRM CONDITIONS
AT BRICK, PROVIDE THRU-WALL FLASHING AND KEEPS PER MANUFACTURER

NOTE:
GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TO ALLOW DRAINAGE TO FLOW AWAY FROM HOUSE, ADJACENT STRUCTURES AND COMMON PROPERTY LINES. LOCATE DOWNSPOUTS IN NON-VISUAL OFFENSIVE LOCATIONS. DO NOT LOCATE DOWNSPOUTS ALONG FRONT FACING PORCH COLUMNS

NOTE:
PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT THE NUMBER OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE HOUSE AND BE PAINTED TO MATCH THE ROOF COLOR.

AREA CALCULATIONS	
OUTSIDE FACE OF BRICK	1,003 S.F.
FIRST FLOOR CONDITIONED	980 S.F.
SECOND FLOOR CONDITIONED	1,593 S.F.
TOTAL CONDITIONED	1,593 S.F.
GARAGE/STORAGE	282 S.F.
FRONT PORCH	103 S.F.
BRICK BASE	
TOTAL UNDER ROOF	1,918 S.F.



Architecture Interiors Graphics Urban Design
1880 Lebedev Avenue
Baton Rouge, Louisiana
Telephone 225.528.4906

E-mail: lrk@lrk.com

Terrell Cottages
Baton Rouge, LA

Issues and Revisions

No.	Date	Issues

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See

Name: Terrell Cottages

Project Number:

North:

Print
Fig.

Drawing Name:

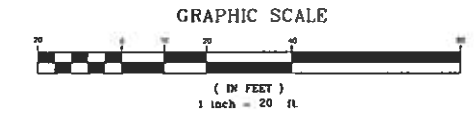
ARCHITECTURAL 017416

Drawn By:

Checked By:

LEGEND :

- OHE— OVERHEAD ELECTRIC LINE
- X— EXIST. CHAIN LINK FENCE
- EXIST. WOOD FENCE
- G— EXIST. CONTOUR
- EXIST. SANITARY SEWER CLEANOUT
- P— POWER POLE
- F— FIRE HYDRANT
- T— TELEPHONE PEDESTAL
- M— TELEPHONE MANHOLE
- E— ELECTRICAL TRANSFORMER
- C— CABLE BOX
- I.P.— IRON PIPE
- G.I.— EXIST. GRATE INLET
- S.C.B.— EXIST. SINGLE CATCH BASIN
- L.P.— EXIST. LIGHT POLE
- S.S.M.— EXIST. SANITARY SEWER MANHOLE
- W.V.— EXIST. WATER VALVE
- W.M.— EXIST. WATER METER
- F.I.P.— FOUND IRON PIPE
- S.I.P.— SET 1/2" IRON PIPE
- (M)— FIELD MEASURED
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- SS— EXIST. SANITARY SEWER



GEOLOGICAL HAZARD NOTE
THERE ARE NOT ANY GENERALLY RECOGNIZED GEOLOGICAL HAZARDS AT THIS LOCATION

DEMOLITION NOTE
THE EXISTING WOOD FRAME RESIDENCE, SHED, GARAGE AND OTHER ANCILLARY STRUCTURES ARE SCHEDULED FOR DEMOLITION.

APPROVED:

FRANK M. DUKE, PLANNING DIRECTOR
OR HIS DESIGNEE
EAST BATON ROUGE PARISH
PLANNING COMMISSION

DATE _____ C_____

DEDICATION :

RIGHTS OF WAY SHOWN HEREON AND LABELED AS A PUBLIC RIGHT OF WAY, IF NOT PREVIOUSLY DEDICATED ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES. ALL AREAS SHOWN AS SERVICED ARE GRANTED FOR THE PURPOSES INDICATED ON THE PLAT, AND IF NO PURPOSE IS INDICATED, TO THE PUBLIC FOR USE OF UTILITIES, DRAINAGE, SEWAGE REMOVAL OR OTHER PROPER PURPOSE FOR THE GENERAL USE OF THE PUBLIC.

NO TREES, SHRUBS OR OTHER PLANTS MAY BE PLANTED, NOR SHALL ANY BUILDING, FENCE, STRUCTURE OR IMPROVEMENTS BE CONSTRUCTED OR INSTALLED WITHIN OR OVER ANY SERVIDE OR RIGHT-OF-WAY SO AS TO PREVENT OR INTERFERE WITH ANY PURPOSE FOR WHICH THE SERVIDE OR RIGHT-OF-WAY IS GRANTED.

SEWAGE DISPOSAL

NO PERSON SHALL PROVIDE A METHOD OF SEWAGE DISPOSAL EXCEPT CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM UNTIL THE HEALTH UNIT OF EAST BATON ROUGE PARISH HAS APPROVED THE METHOD OF SEWAGE TREATMENT AND DISPOSAL.

TED R. TERRELL, MANAGER
TERRELL INVESTMENTS, LLC

DATE _____

CERTIFICATION :

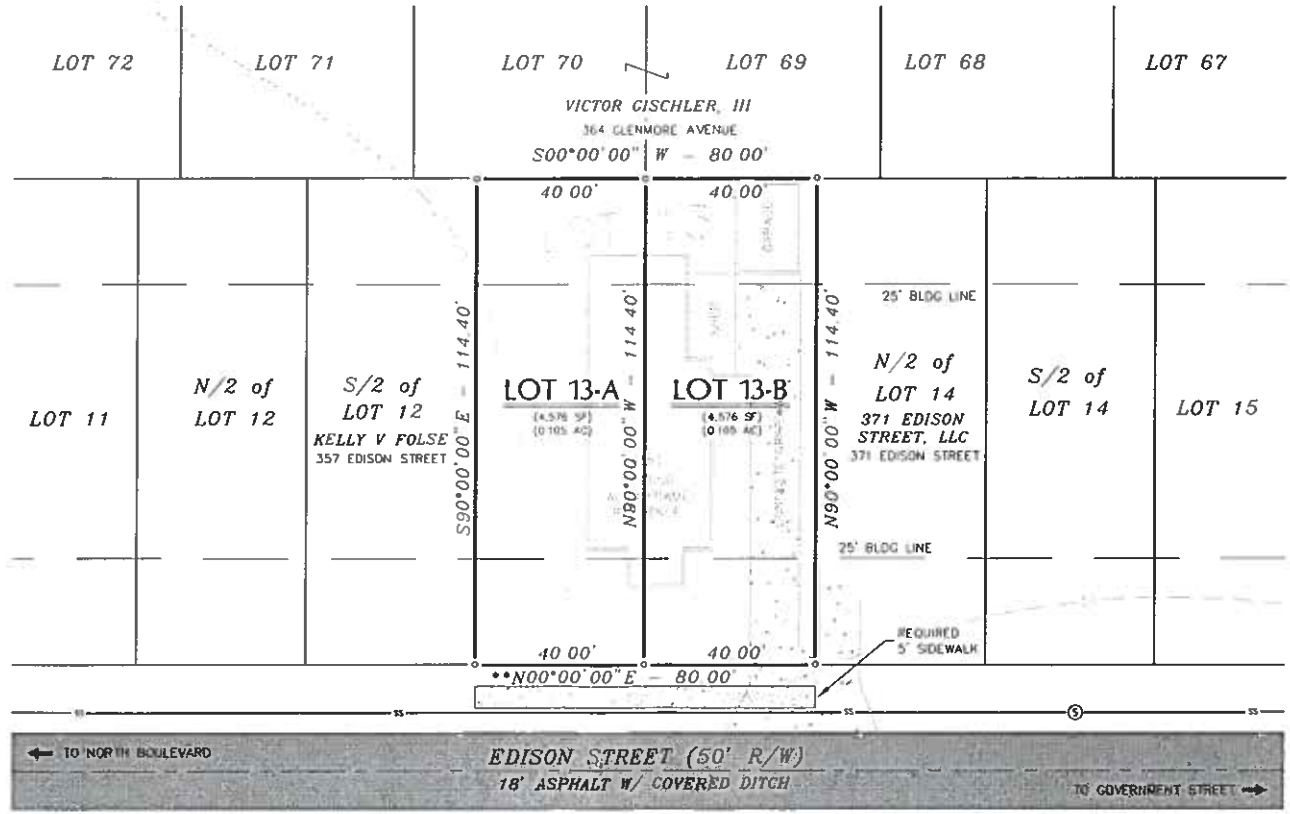
I CERTIFY THAT THIS SURVEY WAS ACTUALLY MADE ON THE GROUND, AS PER RECORD DESCRIPTIONS, AND THAT THERE ARE NO VISIBLE ENCROACHMENTS OTHER THAN AS SHOWN ON THIS PLAT, UNLESS OTHERWISE NOTED. I ALSO CERTIFY THAT THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH THE APPLICABLE PROFESSIONAL AND OCCUPATIONAL STANDARDS OF PRACTICE FOR A CLASS "B" SURVEY AS PER LOUISIANA ADMINISTRATIVE CODE, TITLE 46, PART 131, CHAPTER 23.

THIS IS TO CERTIFY THAT THIS MAP IS MADE IN ACCORDANCE WITH LA REVISED STATUTES 33:5051 ET SEQ. AND ALSO CONFORMS TO ALL PARISH ORDINANCES GOVERNING THE SUBDIVISION OF LAND.

RESUBDIVISION
PENDING FINAL REVIEW

R. James Tatum 9-25-19
DATE

R. JAMES TATUM, P.E./P.L.S.
6920 NORTH MERCHANT COURT
BATON ROUGE, LA 70809
(225) 752-5555 (FAX) 752-5556



PORT 25	PORT 24/25	PORT 24	23-B	23-A	22
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UTILITY NOTE
BERNARD TERRACE ADDITION - SQUARE 6 - LOT 13 IS SERVICED BY ALL UTILITIES WHICH ARE LOCATED IN THE EDISON STREET RIGHT-OF-WAY

UTILITIES:

ELECTRIC	ENTERGY	AARON LODGE	(225) 346-3225
WATER	BATON ROUGE WATER CO.	MARGIE SWANSON	(225) 928-1000
SEWER	E.B.R. PARISH - D.O.D.	DESIREE DIES	(225) 389-5623
GAS	ENTERGY GAS	ABBY CAMPO	(225) 354-3139
TELEPHONE	AT&T	TERECITA SCOTT	(225) 291-1865
CABLE	COX COMMUNICATIONS	LATONYA HUNT	(225) 217-5014

UNDERGROUND LOCATIONS
LOUISIANA ONE CALL 1.800.272.3020

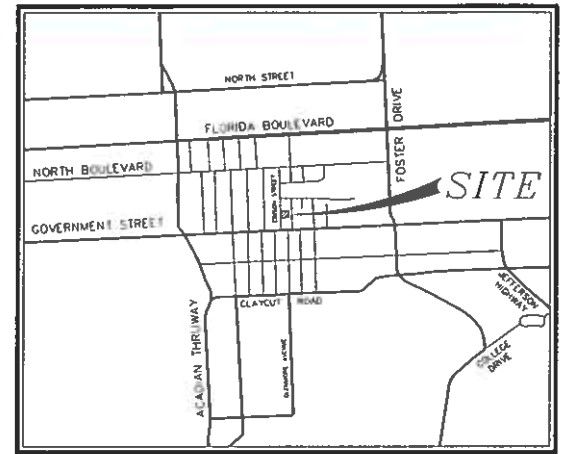
BASIS OF BEARING:
**N00°00'00"E
BEING THE EASTERN RIGHT OF WAY LINE OF EDISON STREET, AS SHOWN ON REFERENCE MAP 1

GENERAL NOTES:

- SUBJECT PROPERTY IS SHOWN AND DESIGNATED ON EAST BATON ROUGE PARISH - LOT AND BLOCK MAP - SHEET 36.
- THE APPLICATION FOR REZONING OF THIS PROPERTY HAS BEEN SUBMITTED TO THE EAST BATON ROUGE PARISH PLANNING COMMISSION. THE ASSIGNED REZONING DESIGNATION IS ISPUID-9-19. THE LEGAL DESCRIPTION FOR THIS PROPERTY IS BERNARD TERRACE ADDITION - SQUARE 6 - LOT 13. THE PROPERTY OWNER HAS DESIGNATED THIS PROJECT AS TERRELL COTTAGES FOR PRIVATE DEVELOPMENT PURPOSES ONLY.

REFERENCE MAPS:

- ADDITION TO BERNARD TERRACE AS SURVEYED BY A.G. MUNDINGER, CE & SURVEYOR, DATED OCT. 1, 1920.
- COMPLETED MAP INCLUDING BERNARD TERRACE, BERNARD TERRACE ADDITION, BERNARD TERRACE SCHOOL ADDITION AND SUBURB BATHMAN, MADE AVAILABLE THROUGH EBR TAX ASSESSOR'S OFFICE. DATE AND ORIGIN OF MAP ARE UNKNOWN.
- MAP SHOWING SUBDIVISION OF LOT 23, SQUARE 6, BERNARD TERRACE ADDITION INTO LOTS 23-A AND 23-B, LOCATED IN SECTION 81, TOWNSHIP 7 S. 1 E., GREENSBURG LAND DISTRICT, FOR JIMMY WHITE, BY DARIN W. FERGUSON, P.L.S. AND DATED 4/25/07.



VICINITY MAP
1" = 2000'

GENERAL SITE NOTES:

CPPC ID# 920360375
EXISTING ZONING: A2
PROPOSED ZONING: ISPUID
EXISTING LAND USE: LDR, MDR
FUTURE LAND USE: RN (RESIDENTIAL NEIGHBORHOOD)
CHARACTER AREA: URBAN/WALKABLE
GROSS SITE AREA: 0.210 ACRES
DENSITY: 2 SFR D.U. / 0.210 ACRES = 9.52 UNITS/ACRE
SCHOOL DISTRICTS: EBR-5 SCHOOL DISTRICT
EDISON STREET
STREETS: EDISON STREET
WATER DISTRICT: ASPHALT W/ SUBSURFACE DRAINAGE
BATON ROUGE WATER COMPANY
SEWER DISTRICT: W.S.T.N.
FIRE DISTRICT: BATON ROUGE CITY FIRE DEPARTMENT
FLOOD ZONE: X (SHADED)
F.I.R.M.: 22033C-0235-E

FLOOD NOTE: IN ACCORDANCE WITH FEMA FLOOD INSURANCE RATE MAP PANEL 22033C-0235E FOR EAST BATON ROUGE PARISH, LOUISIANA, LAST REVISED MAY 2, 2008, THE PROPERTY HEREON IS LOCATED IN FLOOD ZONE "X". THE CURRENT ADJACENT BASE FLOOD ELEVATION AND THE RECORD INUNDATION ELEVATION ARE SUBJECT TO CHANGE AND SHOULD BE VERIFIED WITH THE ENGINEERING DIVISION OF THE EAST BATON ROUGE PARISH DEPARTMENT OF DEVELOPMENT.

NO ATTEMPT HAS BEEN MADE BY R. JAMES TATUM, INC. TO VERIFY THE CURRENT ENVIRONMENTAL CONDITIONS, PROPERTY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS-OF-WAY, JURISDICTIONAL METAMORS, OR OTHER BURDENS ON THE PROPERTY OTHER THAN THAT FURNISHED BY THE CLIENT AND/OR HIS REPRESENTATIVE.

THE APPROVAL OF THIS PLAT OR MAP DOES NOT RELIEVE THE IMMEDIATE PROPERTY OWNER OR FUTURE PROPERTY OWNERS FROM COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND CITY PARISH LAWS AND ORDINANCES GOVERNING THE SALE AND DEVELOPMENT OF THE PROPERTY. IN PARTICULAR, NO FILING OF THE PROPERTY SHALL BE COMMENCED UNTIL ALL APPLICABLE PROVISIONS OF CHAPTER 15 OF THE UNIFIED DEVELOPMENT CODE ARE ADDRESSED.

AS PART OF CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO COMPLY WITH STORM WATER MANAGEMENT AND DRAINAGE REQUIREMENTS SET FORTH IN SECTION 15.13 OF THE UNIFIED DEVELOPMENT CODE, LATEST VERSION.

THE CITY OF BATON ROUGE AND THE PARISH OF EAST BATON ROUGE DOES NOT ENFORCE PRIVATE DEED AND/OR SUBDIVISION RESTRICTIONS. HOWEVER, THE APPROVAL OF THIS PLAT DOES NOT RELEASE THE OWNER AND/OR CONTRACTOR/BUILDER FROM COMPLYING WITH ANY SUCH RESTRICTIONS THAT MAY BE ATTACHED TO THE PROPERTY ON THIS PLAT.

THE FENCES SHOWN HEREON REPRESENT GENERAL LOCATIONS. THIS SURVEY DOES NOT WARRANT THE FENCES AS TRUE AND LEGAL BOUNDARIES BETWEEN CONTIGUOUS PARCELS OF LAND. REFER TO THE PROPERTY LINE METES AND BOUNDS DESCRIPTIONS FOR TRUE BOUNDARIES.

PRELIMINARY PLAT
SHOWING SUBDIVISION
SQUARE 6 - LOT 13

SQUARE 6 - LOTS 13-A & 13-B
BERNARD TERRACE ADDITION

LOCATED IN SECTION 81, TOWNSHIP 7 SOUTH, RANGE 1 EAST, GREENSBURG LAND DISTRICT, EAST BATON ROUGE PARISH, LOUISIANA

FOR
TERRELL INVESTMENTS, LLC

LOCATION: 363 EDISON STREET, BATON ROUGE, LA	SHEET:
DATE: 09-25-2019	TOTAL AREA: 9,152 SQ. FT. (0.210 ACRES)
SCALE: 1" = 20'	DRAWN BY: JAS
COGO: 9-25-2019\219-041\219041_RSUB.cwg	CHECKED BY: RJT
	WO: # 219-041
	OF 7

TATUM ENGINEERING CONSULTANTS
R. JAMES TATUM, INC. BATON ROUGE, LOUISIANA

REVISED: 9-25-2019\219-041\219041_RSUB.dwg\RSUB Date: 09/25/2019 AT 21:44:00 By: RJT